



OCOEE PLANNING AND ZONING COMMISSION

Ocoee Commission Chambers
1 N. Bluford Avenue
Ocoee, Florida

June 9, 2026

AGENDA

6:15 PM

REGULAR PLANNING AND ZONING COMMISSION MEETING

• CALL TO ORDER

Invocation

Pledge of Allegiance

Roll Call and Determination of Quorum

• CONSENT

1. Approval of Minutes of the Planning and Zoning Meeting Held on April 14, 2026

• OLD BUSINESS

• NEW BUSINESS

1. 5068 Adair Street - Torres Aguilar/Salcedo Property, Annexation & Rezoning from Orange County A-1 to City of Ocoee R-1; Project No. AX-03-26-01 & RZ-26-03-01 **(Planner II Belizaire)**
2. Walmart Neighborhood Market Sign Variance; Project No. VR-26-02 **(Planner II Belizaire)**
3. Text Amendment to the Land Development Code, Creating Section 4-13 to Establish Regulations and Procedures for Certified Recovery Residences **(Community Development Administrator McFarlane)**

• MISCELLANEOUS

1. Impervious & Open Space Workshop
2. Project Status Report

• ADJOURNMENT

Notice: Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made which includes testimony and evidence upon which the appeal is based. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office 48 hours in advance of the meeting.

MORE THAN ONE COMMISSIONER MAY PARTICIPATE OR HEAR DISCUSSIONS REGARDING A MATTER WHICH WILL COME BEFORE THE COMMISSION FOR ACTION.



OCOOE PLANNING AND ZONING COMMISSION

Ocoee Commission Chambers
1 N. Bluford Avenue
Ocoee, Florida

April 14, 2026

MINUTES

6:15 PM

REGULAR PLANNING AND ZONING COMMISSION MEETING

• CALL TO ORDER

Chair Lomneck called the regular session to order at 6:15 PM in the Commission Chambers of City Hall. The invocation was led by **Chair Lomneck**, followed by the Pledge of Allegiance to the Flag. **Recording Clerk Justice** called the roll and declared a quorum present.

Present: Chair Lomneck, Vice-Chair Forges, Members Keller, Chacon, Galvan, and Alternate Member Butler

Absent: None

Also present: Development Services Director Lepp, Assistant City Manager Rumer, Board Attorney Johnson, and Recording Clerk Justice

• CONSENT AGENDA

1. Minutes of the Planning and Zoning Commission Meeting held on March 10, 2026.

(6:16 pm)

Motion for Approval of the Consent Agenda: Moved by Member Keller, Seconded by Member Galvan; Motion carried unanimously.

• OLD BUSINESS - None

• NEW BUSINESS

1. Maguire Plaza Large-Scale Preliminary Final Site Plan; Project No. LS-2025-006
(Development Services Director Lepp)

Development Services Director Lepp presented an overview of the subject property and proposed project, consisting of three (3) single-story buildings totaling 42,750 square feet of flex space for commercial office use, along with on-site parking, stormwater management, and supporting infrastructure on 3.63 acres. Access to the site will be from Maguire Road, with a planned future connection to Franklin Street. Utilities will be provided by the City. The project is consistent with Chapter 163, Florida Statutes, and the Downtown Mixed-Use District. The architectural design is consistent with the Plant Street Character Area Gateway District.

Assistant City Manager Rumer noted that the subject property is located within the Plant Street Character Area Gateway District and that the City had previously anticipated

completion of the Franklin Street and Silver Star Corridor realignment and roadway improvement designs. He explained that the Silver Star realignment project is not yet funded through FDOT; although it remains in the program, its priority ranking has not been sufficient to secure funding. He further stated that the Expressway Authority recently completed relocation of the exit ramp from SR 429, which included widening a portion of Franklin Street to accommodate dual left-turn lanes. The City funded installation of a twelve-foot wide-walk along Franklin Street in conjunction with the widening. He added that, for the proposed project, westward access is anticipated via a future roadway connection to Bowness Avenue.

Vice-Chair Forges inquired why the project was being presented for approval if it meets Zoning specifications. **Assistant City Manager Rumer** addressed his question. Discussion followed regarding the property's history of proposed projects and utility-related logistical challenges.

Chair Lomneck inquired if the developer is providing right-of-way for future expansion of the road. **Assistant City Manager Rumer** responded in the negative, explaining that it was not necessary to accommodate the expansion.

Chair Lomneck invited the applicant to speak.

David F. Glunt, P.E., Spruce Creek Civil Engineering, advised that he is available for any questions.

The Board had no questions, so Chair Lomneck opened the public hearing. As no speaker forms were received, the public hearing was closed.

(6:25 pm)

Motion: Move that the Planning and Zoning Commission, acting as the Local Planning Agency, recommend to the Ocoee City Commission Approval of the Maguire Plaza Large-Scale Preliminary Final Site Plan, Project Number LS-2025-006; Moved by Member Keller, Seconded by Member Chacon; motion carried unanimously.

• MISCELLANEOUS

1. Project Status Report

Assistant City Manager Rumer updated the Board with the following:

- Announced the grand opening for The Regency
- Elan Crown Point is nearing completion
- An accessory structure is being installed behind the Floors Direct store
- O2B Kids is nearing completion
- An update for the Cambria Hotel is anticipated soon, now that they have moved forward with the City Center West Orange CDD
- Eight Large-Scale Site Plans have been submitted within the last two weeks
- A preconstruction for Walmart Neighborhood Market occurred today

Planning & Zoning Commission
April 14, 2026

- Development plans for the northwest corner of Ocoee Village Center are forthcoming and may be presented at the next Planning & Zoning Commission Meeting
- Improvements are being made at Forest Lake Golf Club, including dining options
- The Recording Clerk will reach out to members whose terms are up for reappointment

• ADJOURNMENT – 6:31 PM

ATTEST:

APPROVED:

Miranda Justice, Recording Clerk

Brad Lomneck, Chair

Proposed FLU Designation	Proposed Zoning District	Proposed Use	Proposed Development Standards
N/A (Site remains LDR)	City of Ocoee R-1	Single-Family Dwelling	Conventional R-1 standards

Consistency with Florida Statutes: Pursuant to Section 171.044, Florida Statutes (F.S.), municipalities are authorized to annex contiguous, compact, non-circuitous territory, provided such annexation does not create an enclave. The subject property is contiguous to the City of Ocoee to the north and east, and the proposed annexation does not create an enclave. Rather, the annexation supports the City's efforts to reduce existing enclaves within the municipal boundaries.

Consistency with JPA Agreement: The property is located within the City of Ocoee-Orange County Joint Planning Area (JPA) Agreement, and the proposed annexation and zoning classification are consistent with the adopted JPA Agreement.

Consistency with Adopted Comprehensive Plan: The property is designated as Low Density Residential on the Future Land Use Map (FLUM) within the Comprehensive Plan. The proposed annexation and rezoning are consistent with the adopted comprehensive Plan and FLUM designation.

Access: The previous residence, now demolished, was accessed from Adair Street. Future access for the proposed single-family residence will be evaluated during the building permit review process and will be provided via either 3rd Avenue or Adair Street.

Utilities: City water service is available from a 12" water main adjacent to the property, located west of Adair Street. The applicant has paid the required water service fee and is proceeding with the annexation process to facilitate installation of the water connection. No sewer line connections are available; the property will be served by a private septic system.

Transportation: No transportation issues are anticipated, as the property is entitled to the development of one (1) single-family dwelling unit.

Stormwater: N/A

Schools: N/A

Public Safety: Emergency services, including police and fire protection, are available to serve the subject property.

An Annexation Feasibility & Public Facilities Analysis Report was completed for this property. See the attached document for the complete report.

ISSUE:

Should the Planning & Zoning Commission (PZC), acting as the Local Planning Agency (LPA), recommend approval for the proposed annexation and rezoning of the property located at 5068 Adair Street, from Orange County A-1 (Citrus Rural District) to City of Ocoee R-1 (Single-Family Dwelling District), as requested by the applicant for the property owners, Torres Aguilar and Salcedo property located at 5068 Adair Street.

RECOMMENDATIONS:

Development Review Committee (DRC) Recommendation:

The Development Review Committee (DRC) met on Tuesday, June 2, 2026, to consider the application for annexation and rezoning. Upon a finding of consistency with the City's regulations and policies and the terms of the City of Ocoee-Orange County Joint Planning Area (JPA) Agreement, the DRC made a recommendation of approval of the proposed annexation and rezoning of the property located at 5068 Adair Street, from Orange County A-1

(Citrus Rural District) to City of Ocoee R-1 (Single-Family Dwelling District), as requested by the applicant for the property owners, Torres Aguilar and Salcedo property located at 5068 Adair Street.

Staff Recommendation:

Staff recommends that the Planning & Zoning Commission (PZC), acting as the Local Planning Agency (LPA), recommend approval for the proposed annexation and rezoning of the property located at 5068 Adair Street, from Orange County A-1 (Citrus Rural District) to City of Ocoee R-1 (Single-Family Dwelling District), as requested by the applicant for the property owners, Torres Aguilar and Salcedo property located at 5068 Adair Street.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. FLU Map
4. Zoning Map
5. Feasibility Report
6. Annexation Ordinance
7. Rezoning Ordinance
8. Business Impact Estimate Form
9. Advertisement

5068 Adair Street
Location Map

Clarcona Ocoee Rd

2nd Ave

Angola St

3rd Ave

Adair St

4th Ave

Jimson Ave

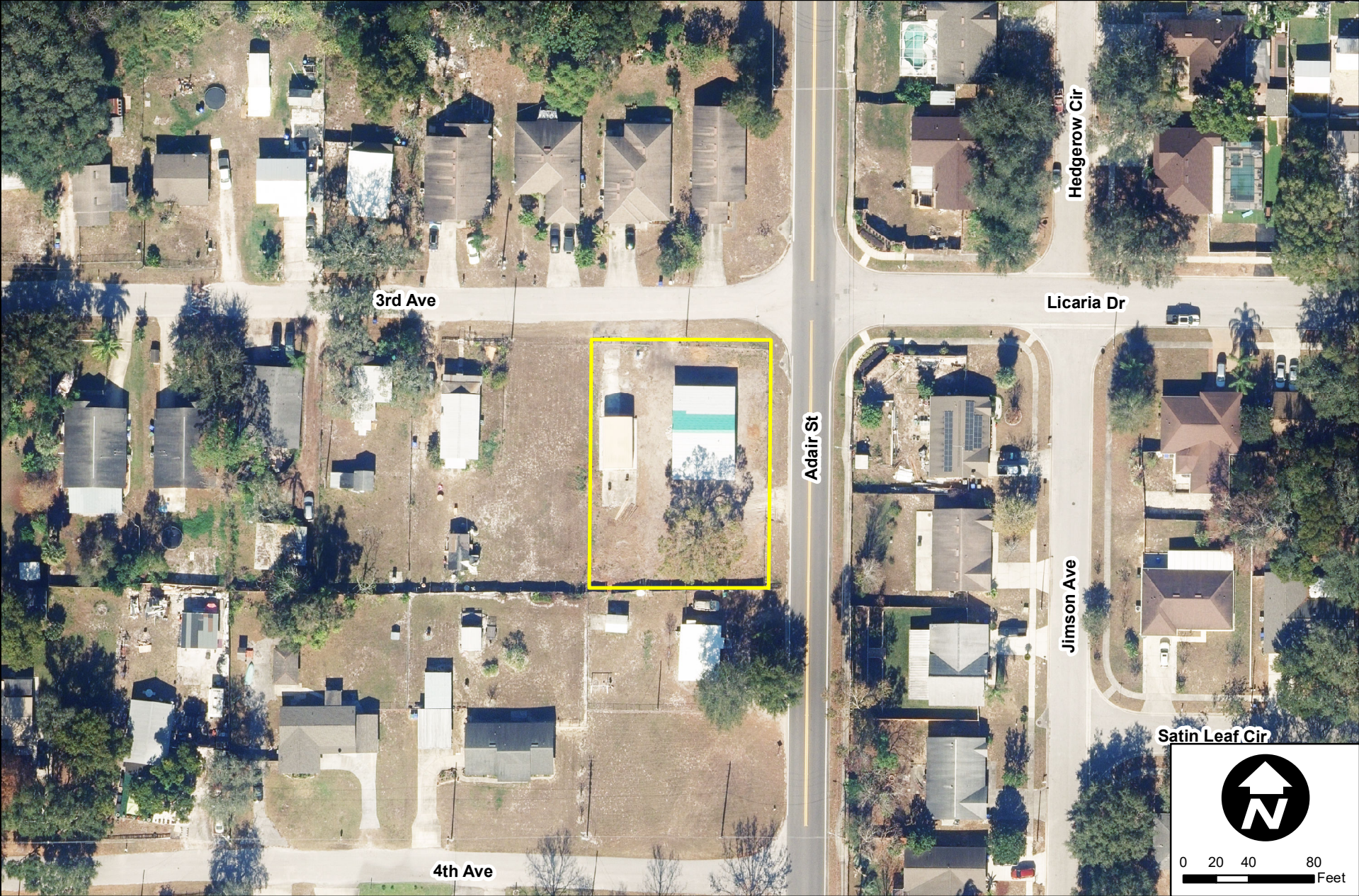
Licaria Dr

5th Ave

6th Ave



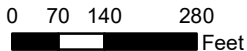
5068 Adair Street Aerial Photography



5068 Adair Street Surrounding Future Land Use Map













Development Services
Department

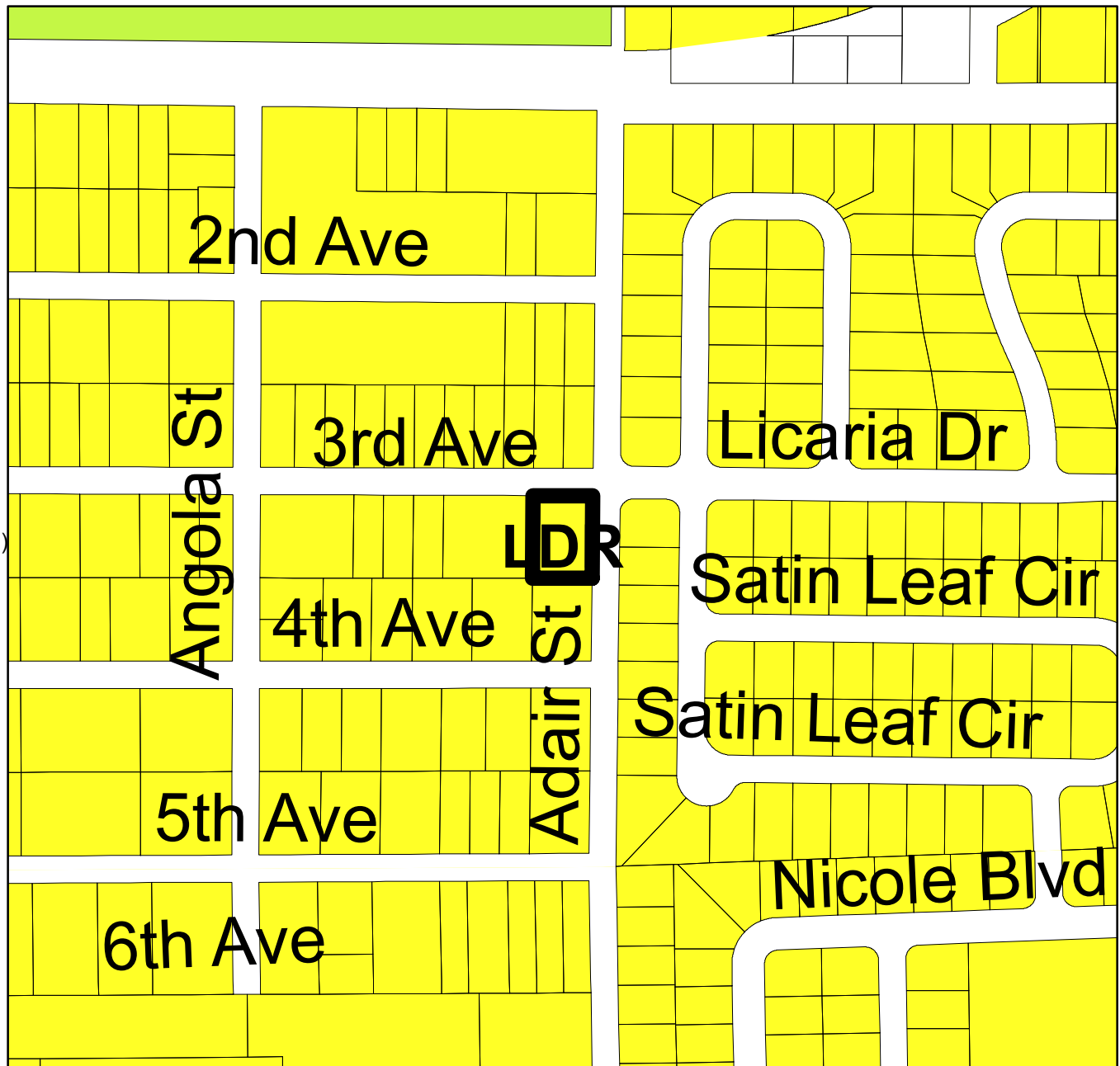


Created: May 2026

 Subject Property

Future Land Use Classification:

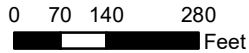
-  Low Density Residential (LDR)
-  Medium Density Residential (MDR)
-  High Density Residential (HDR)
-  Professional Offices and Services (PS)
-  Commercial (COMM)
-  Light Industrial (LI)
-  Heavy Industrial (HI)
-  Conservation/Floodplains (CONS)
-  Recreation and Open Space (REC)
-  Public Facilities/Institutional (INST)



5068 Adair Street Surrounding Zoning Map
























Development Services
Department

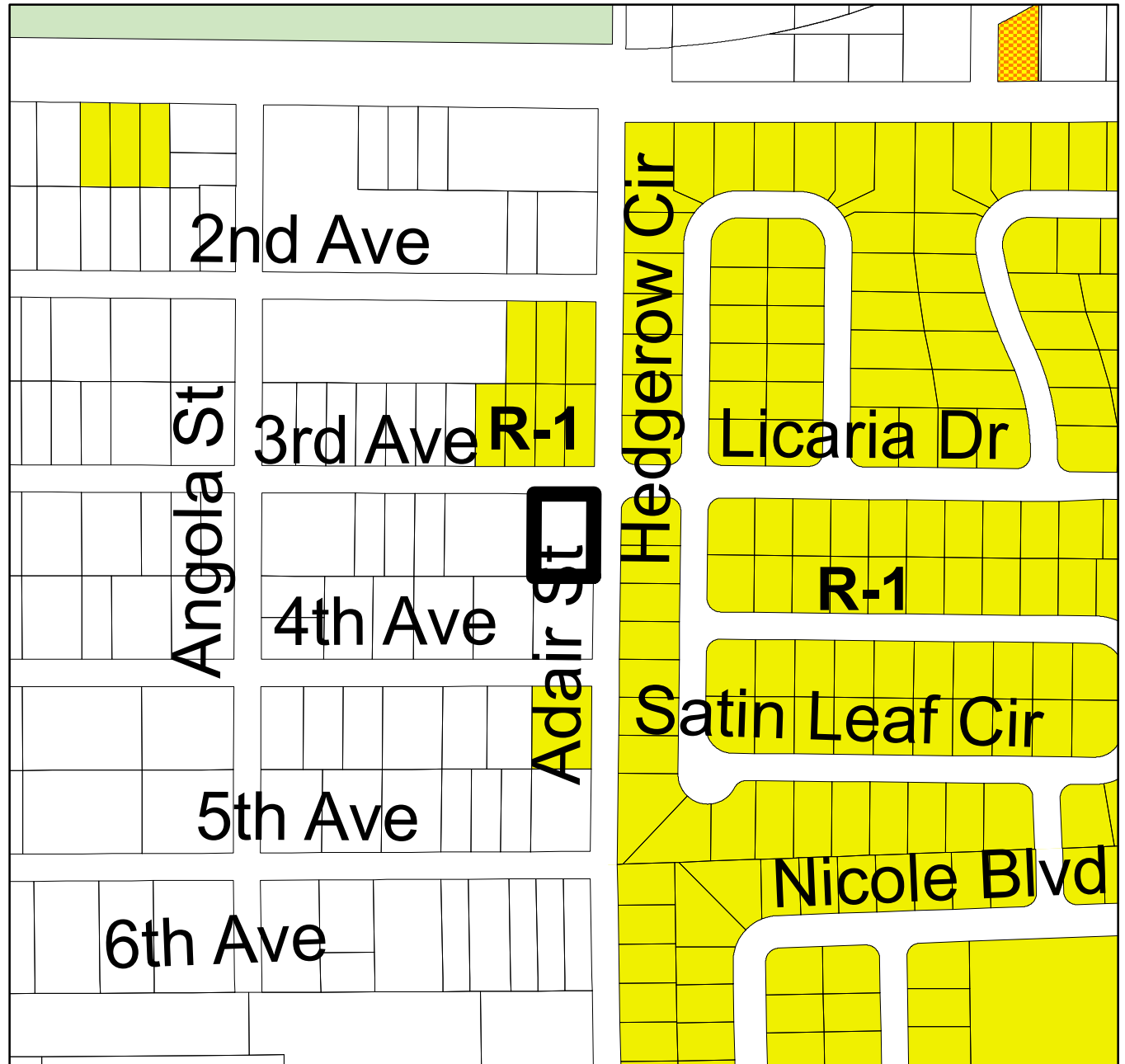


Created: May 2026

 Subject Property

Zoning Classification:

-  General Agricultural (A-1)
-  Suburban (A-2)
-  Single-Family Dwelling (R-1AAA)
-  Single-Family Dwelling (R-1AA)
-  Single-Family Dwelling (R-1A)
-  Single-Family Dwelling (R-1)
-  One- & Two-Family Dwelling (R-2)
-  Multiple-Family Dwelling (R-3)
-  Mobile Home Subdivision (RT-1)
-  Professional Offices & Services (P-S)
-  Neighborhood Shopping (C-1)
-  Community Commercial (C-2)
-  General Commercial (C-3)
-  Restricted Manufacturing & Warehousing (I-1)
-  General Industrial (I-2)
-  Commercial (PUD)
-  Low Density (PUD)
-  Medium Density (PUD)
-  High Density (PUD)
-  Public Use (PUD)
-  Unclassified



CITY OF OCOEE

ANNEXATION FEASIBILITY ANALYSIS

CASE NUMBER: AX-03-26-01 & RZ-26-03-01

APPLICANT NAME: JORGES A. TORRES AGUILAR & MARIBEL SALCEDO, REPRESENTED BY LUXAR CONSTRUCTION, LLC

PROJECT NAME: 5068 ADAIR STREET

This form is used to evaluate annexation requests to determine the feasibility of providing urban services to individual properties. Each department's findings are summarized below.

I. PLANNING DEPARTMENT	Berenice Belizaire, Planner I
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A. Applicant/Owner	
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1. Owner (if different from Applicant):	Jorges A. Torres Aguilar & Maribel Salcedo
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B. Property Location	
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1. General Location:	West of Adair Street, approximately 750 feet south of the intersection of Clarcona Ocoee Road and Adair Street
2. Parcel Identification Number:	05-22-28-6052-05-010
3. Street Addresses:	5068 Adair Street, Ocoee FL 34761
4. Size and Number of Parcels:	0.38

C. Use Characteristics	
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1. Existing Use:	Vacant residential
2. Proposed use:	Single-family dwelling
3. Density / Intensity:	Low Density Residential (LDR)
4. Projected Population:	N/A

D. Zoning and Land Use	
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1. Orange County Future Land Use:	Low Density Residential
2. Orange County Zoning:	ORG- R-1 (Single-family dwelling district)
3. Existing Ocoee Future Land Use:	Low Density Residential per JPA FLUM
4. Proposed Ocoee Zoning:	R-1

E. Consistency	
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1. Joint Planning Area:	Yes
2. Comprehensive Plan:	Yes

II. FIRE DEPARTMENT	
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1. Availability:	Yes
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III. POLICE DEPARTMENT	
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1. Availability:	Yes
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IV. ECONOMIC VALUE		Berenice Belizaire, Planner II
1. Property Appraiser Market Value:	\$198,840	
2. Property Appraiser Taxable Value	\$198,840	
3. Estimated City Ad Valorem Taxes:	TBD	
4. Anticipated Licenses & Permits:	TBD	
5. Potential Impact Fees:	TBD	
6. Total Project Revenues:	TBD	

V. PUBLIC WORKS DEPARTMENT	
1. Within the 100-year Flood Plain:	

VI. UTILITIES		T'Jean Tomlinson, P.E., Engineering Manager
A. Potable Water		
1. In Ocoee Service Area:	Yes	
2. City Capable of Serving Area:	Yes	
3. Extension Needed:	No	
4. Location and Size of Nearest Water Main:	12" water main is adjacent to property on the west side of Adair St; applicant has paid for water service installation once Annexation is completed.	

B. Sanitary Sewer		
1. In Ocoee Service Area:	Yes	
2. City Capable of Serving Area:	No; no sewer connection/lateral is available for this property.	
3. Extension Needed:	No; applicant is only connecting to water service.	
4. Location and Size of Nearest Force Main:	N/A	
5. Annexation Agreement Needed:	No	

C. Other		
1. Utility Easement Needed:	No	
2. Private Lift Station Needed:	No	
3. Well Protection Area Needed:	No	

VII. TRANSPORTATION		Berenice Belizaire, Planner I
1. Paved Access:	Yes, 3 rd Avenue and Adair Street	
2. ROW Dedication:	No	
3. Traffic Study:	No	
4. Traffic Analysis Zone:	No	

VIII. PRELIMINARY CONCURRENCY EVALUATION	
A. Transportation:	N/A
B. Parks / Recreation:	N/A
C. Water / Sewer:	N/A
D. Stormwater:	N/A
E. Solid Waste:	N/A
F. Impact Fees:	N/A

IX. SITE SPECIFIC ISSUES	All Departments
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X. CONSISTENCY WITH STATE ANNEXATION REGULATIONS	Berenice Belizaire, Planner II
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**ORDINANCE NO. 2026-
(Annexation Ordinance for 5068 Adair Street –
Torres Aguilar and Salcedo Property)**

TAX PARCEL ID: 05-22-28-6052-05-010

**CASE NO. AX-03-26-01: 5068 Adair Street – Torres Aguilar and Salcedo Property
Annexation**

AN ORDINANCE OF THE CITY OF OCOEE, FLORIDA, ANNEXING INTO THE CORPORATE LIMITS OF THE CITY OF OCOEE, FLORIDA, CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 0.38 ACRES LOCATED AT 5068 ADAIR STREET, LOCATED WEST OF ADAIR STREET, APPROXIMATELY 750 FEET SOUTH OF THE INTERSECTION OF CLARCONA OCOEE ROAD AND ADAIR STREET, PURSUANT TO THE APPLICATION SUBMITTED BY THE PROPERTY OWNER; FINDING SAID ANNEXATION TO BE CONSISTENT WITH THE ENVISION 2045 OCOEE COMPREHENSIVE PLAN, THE OCOEE CITY CODE AND THE JOINT PLANNING AREA AGREEMENT; PROVIDING FOR AND AUTHORIZING THE UPDATE OF OFFICIAL CITY MAPS; PROVIDING DIRECTION TO THE CITY CLERK; PROVIDING FOR SEVERABILITY; PREVAILING IN THE EVENT OF ANY INCONSISTENCY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, pursuant to Section 171.044, Florida Statutes, the owner of certain real property located in unincorporated Orange County, Florida, as hereinafter described, has petitioned the City Commission of the City of Ocoee, Florida (the “Ocoee City Commission”) to annex approximately 0.38 acres of property, as more particularly described in **Exhibit “A”** attached hereto, into the corporate limits of the City of Ocoee, Florida; and

WHEREAS, the Ocoee City Commission has determined that said petition bears the signatures of all owners of the real property proposed to be annexed into the corporate limits of the City of Ocoee, Florida; and

WHEREAS, notice of the proposed annexation has been published pursuant to the requirements of Section 171.044(2), Florida Statutes, and Section 5-9(E), Article V, Land Development Code of the City of Ocoee (the “Code”); and

WHEREAS, on June 9, 2026, the Planning and Zoning Commission of the City of Ocoee, Florida, reviewed the proposed annexation and found it to be consistent with the Envision 2045 Ocoee Comprehensive Plan, to comply with all applicable requirements of the Ocoee City Code, and to be in the best interest of the City of Ocoee and has recommended to the Ocoee City Commission that it approve said annexation petition; and

WHEREAS, the Ocoee City Commission has the authority, pursuant to Section 171.044, Florida Statutes, to annex said real property into its corporate limits upon petition of the owners of said real property; and

WHEREAS, the Ocoee City Commission is desirous of annexing and redefining the boundary lines of the City of Ocoee, Florida, to include said real property.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF OCOEE, FLORIDA, AS FOLLOWS:

Section 1. AUTHORITY. The Ocoee City Commission has the authority to adopt this Ordinance pursuant to Article VIII of the Constitution of the State of Florida, Chapters 166 and 171, Florida Statutes, and Section C-7 of Article 1 of the Charter of the City of Ocoee, Florida.

Section 2. PETITION. The Ocoee City Commission hereby finds that the petition to annex certain lands, as hereinafter described, into the corporate limits of the City of Ocoee, Florida, bears the signatures of all owners of the real property proposed to be annexed into the corporate limits of the City of Ocoee, Florida.

Section 3. ANNEXATION. The following described real property located in unincorporated Orange County, Florida, is hereby annexed into the corporate limits of the City of Ocoee, Florida:

SEE EXHIBIT “A” ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF

Section 4. MAP. A map of said land herein described, which clearly shows the annexed area, is attached hereto as **EXHIBIT “B”** and by this reference is made a part hereof.

Section 5. CONSISTENCY FINDING. The Ocoee City Commission hereby finds that the annexation of said land herein described is consistent with the Envision 2045 Ocoee Comprehensive Plan, as amended, and meets all of the requirements for annexation set forth in the Envision 2045 Ocoee Comprehensive Plan and the Ocoee City Code.

Section 6. CORPORATE LIMITS. The corporate territorial limits of the City of Ocoee, Florida, are hereby redefined to include said land herein described and annexed.

Section 7. OFFICIAL MAPS. The City Clerk is hereby authorized to update and supplement official City maps of the City of Ocoee, Florida, to include said land herein described and annexed.

Section 8. LIABILITY. The land herein described and future inhabitants of said land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances, and regulations of the City of Ocoee, Florida, and be entitled to the same privileges and benefits as other areas of the City of Ocoee, Florida.

Section 9. SEVERABILITY. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portion hereto.

Section 10. CONFLICTING ORDINANCES. This ordinance prevails in the event of any inconsistency with all ordinances or parts of ordinances in conflict herewith.

Section 11. EFFECTIVE DATE. This Ordinance shall become effective upon passage and adoption. Thereafter, the City Clerk is hereby directed to file a certified copy of this Ordinance with the Clerk of the Circuit Court for Orange County, Florida, the Chief Administrative Officer of Orange County, Florida, and with the Florida Department of State within seven (7) days from the effective date.

PASSED AND ADOPTED this _____ day of _____, 2026.

APPROVED:

CITY OF OCOEE, FLORIDA

ATTEST:

Melanie Sibbitt, City Clerk

Rusty Johnson, Mayor

(SEAL)

ADVERTISED _____ AND _____
READ FIRST TIME _____, 2026
READ SECOND TIME AND ADOPTED
_____, 2026, UNDER AGENDA
ITEM NO. _____

FOR USE AND RELIANCE ONLY BY THE
CITY OF OCOEE, FLORIDA APPROVED AS
TO FORM AND LEGALITY THIS _____ DAY
OF _____, 2026

FISHBACK DOMINICK

By: _____
City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL ID NO.: 05-22-28-6052-05-010

LOTS 1 AND 2, BLOCK E, OAK LEVEL HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK L, PAGES(S) 31, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

EXHIBIT "B"

5068 Adair Street
Location Map

Clarcona Ocoee Rd

2nd Ave

Angola St

3rd Ave

Adair St

4th Ave

5th Ave

6th Ave

Jimson Ave

Licaria Dr



**ORDINANCE NO. 2026-
(Rezoning Ordinance for 5068 Adair Street-
Torres Aguilar and Salcedo Property)**

TAX PARCEL ID: 05-22-28-6052-05-010

**CASE NO. RZ-26-03-01: 5068 Adair Street- Torres Aguilar and Salcedo Property
Rezoning**

AN ORDINANCE OF THE CITY OF OCOEE, FLORIDA, CHANGING THE ZONING CLASSIFICATION FROM ORANGE COUNTY A-1 (CITRUS RURAL DISTRICT) TO CITY OF OCOEE R-1 (SINGLE-FAMILY DWELLING DISTRICT) ON CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 0.38 ACRES LOCATED AT 5068 ADAIR STREET, LOCATED WEST OF ADAIR STREET, APPROXIMATELY 750 FEET SOUTH OF THE INTERSECTION OF CLARCONA OCOEE ROAD AND ADAIR STREET, PURSUANT TO THE APPLICATION SUBMITTED BY THE PROPERTY OWNER; FINDING SUCH ZONING TO BE CONSISTENT WITH THE ENVISION 2045 OCOEE COMPREHENSIVE PLAN; PROVIDING FOR AND AUTHORIZING THE REVISION OF THE OFFICIAL CITY ZONING MAP; PREVAILING IN THE EVENT OF ANY INCONSISTENCY; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner (the “Applicant”) of certain real property located within the corporate limits of the City of Ocoee, Florida, as hereinafter described, has submitted an application to the City Commission of the City of Ocoee, Florida (the “Ocoee City Commission”) to rezone said real property (the “Rezoning”); and

WHEREAS, the Applicant seeks to rezone certain real property containing approximately 0.38 acres, more particularly described in Exhibit “A” attached hereto and by this reference made a part hereof, from Orange County A-1 to City of Ocoee R-1; and

WHEREAS, pursuant to Section 5-9(B), Article V of the Land Development Code of the City of Ocoee, Florida (the “Ocoee City Code”), the City Development Services Director has reviewed said Rezoning application and determined that the Rezoning is consistent with the Envision 2045 Ocoee Comprehensive Plan as set forth in Ordinance No. 2025-14, adopted July 15, 2025, as amended (the “Envision 2045 Ocoee Comprehensive Plan”); and

WHEREAS, said Rezoning application was scheduled for review and recommendation by the Planning and Zoning Commission of the City of Ocoee, Florida (the “Planning and Zoning Commission”), acting as the Local Planning Agency; and

WHEREAS, on June 9, 2026, the Planning and Zoning Commission held a public hearing and reviewed said Rezoning application for consistency with the Ocoee Comprehensive Plan and

determined that the Rezoning is consistent with the Ocoee Comprehensive Plan and is in the best interest of the City, and recommended to the Ocoee City Commission that the zoning classification of said real property be rezoned as requested by the Applicant and that the Ocoee City Commission find the Rezoning requested by the Applicant to be consistent with the Ocoee Comprehensive Plan; and

WHEREAS, on July 21, 2026, the Ocoee City Commission held a de novo advertised public hearing with respect to the proposed Rezoning of said real property and determined that the Rezoning is consistent with the Envision 2045 Ocoee Comprehensive Plan; and

WHEREAS, this Ordinance has been considered by the Ocoee City Commission in accordance with the procedures set forth in Section 166.041(3)(a), Florida Statutes.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF OCOEE, FLORIDA, AS FOLLOWS:

SECTION 1. AUTHORITY. The Ocoee City Commission has the authority to adopt this Ordinance pursuant to Article VIII of the Constitution of the State of Florida and Chapters 163 and 166, Florida Statutes.

SECTION 2. REZONING. The zoning classification, as defined in the Ocoee City Code, of the Property described in **Exhibit “A”** containing approximately 0.38 acres located within the corporate limits of the City of Ocoee, Florida, is hereby changed from Orange County A-1 to City of Ocoee R-1. A map of said land herein described, which clearly shows the area of the Rezoning, is attached hereto as **Exhibit “B”** and by this reference is made a part hereof.

SECTION 3. COMPREHENSIVE PLAN. The Ocoee City Commission hereby finds the Rezoning of the land described in this Ordinance to be consistent with the Envision 2045 Ocoee Comprehensive Plan.

SECTION 4. ZONING MAP. The City Clerk is hereby authorized and directed to revise the Official Zoning Map of the City of Ocoee in order to incorporate the Rezoning enacted by this Ordinance, and the Mayor and City Clerk are hereby authorized to execute said revised Official Zoning Map in accordance with the provisions of Section 5-1(G) of Article V of the Ocoee City Code.

SECTION 5. CONFLICTING ORDINANCES. This ordinance prevails in the event of any inconsistency with all ordinances or parts of ordinances in conflict herewith.

SECTION 6. SEVERABILITY. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portion hereto.

SECTION 7. EFFECTIVE DATE. This Ordinance shall become effective ten (10) days after its passage and adoption.

PASSED AND ADOPTED this _____ day of _____, 2026.

ATTEST:

**APPROVED:
CITY OF OCOEE, FLORIDA**

Melanie Sibbitt, City Clerk

Rusty Johnson, Mayor

(SEAL)

ADVERTISED _____, 2026.
READ FIRST TIME _____, 2026.
READ SECOND TIME AND ADOPTED
_____, 2026.
UNDER AGENDA ITEM NO. _____

**FOR USE AND RELIANCE ONLY BY THE
CITY OF OCOEE, FLORIDA; APPROVED AS
TO FORM AND LEGALITY**
this _____ day of _____, 2026.

FISHBACK DOMINICK

By: _____
City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL ID NO.: 05-22-28-6052-05-010

LOTS 1 AND 2, BLOCK E, OAK LEVEL HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK L, PAGES(S) 31, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

EXHIBIT "B"

5068 Adair Street
Location Map

Clarcona Ocoee Rd

2nd Ave

Angola St

3rd Ave

Adair St

4th Ave

5th Ave

6th Ave

Jimson Ave

Licaria Dr





Business Impact Estimate

Proposed ordinance's title/reference:

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, this means the City is of the view that a business impact estimate is not required by state law¹ for the proposed ordinance, but the City is, nevertheless, providing this Business Impact Estimate as a courtesy and to avoid any procedural issues that could impact the enactment of the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

In accordance with the provisions of controlling law, even notwithstanding the fact that an exemption noted above may apply, the City hereby publishes the following information:

¹ See Section 166.041(4)(c), Florida Statutes.

1. Summary of the proposed ordinance (must include a statement of the public purpose, such as serving the public health, safety, morals and welfare):

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the City of Ocoee, if any:

(a) An estimate of direct compliance costs that businesses may reasonably incur;

(b) Any new charge or fee imposed by the proposed ordinance or for which businesses will be financially responsible; and

(c) An estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs.

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

4. Additional information the governing body deems useful (if any):

West Orange Times c/o Business Observer

1970 Main Street
3rd Floor
Sarasota, FL 34236
, 941-906-9386 x322

INVOICE

Legal Advertising

**CITY OF OCOEE
NOTICE OF PUBLIC HEARING TO CONSIDER THE
5068 ADAIR STREET- TORRES AGUILAR AND SALCEDO PROPERTY
ANNEXATION & REZONING
FROM ORANGE COUNTY A-1 (CITRUS RURAL DISTRICT) TO CITY OF
OCOEE R-1 (SINGLE-FAMILY DWELLING)
CASE NUMBERS: AX-03-26-01 & RZ-26-03-01**

NOTICE IS HEREBY GIVEN, pursuant to Article I, Section 1-10, and Article V, Section 5-9, of the City of Ocoee Land Development Code that on **TUESDAY, JUNE 9, 2026, AT 6:15 P.M.** or as soon thereafter as practical, the **OCOEE PLANNING & ZONING COMMISSION** will hold a **PUBLIC HEARING** at the City of Ocoee Commission Chambers located at 1 North Bluford Avenue, Ocoee, Florida, to consider the Annexation and Rezoning for 5086 Adair Street - Torres Aguilar and Salcedo Property. The property is assigned parcel ID number 05-22-28-6052-05-010 and consists of approximately 0.38 acres.

The property is located west of Adair Street, approximately 750 feet south of the intersection of Clarcona Ocoee Road and Adair Street. The applicant, Luxar Construction, LLC, representing the property owners, is seeking annexation into the City.

If the applicant's request is approved, the annexation would incorporate the property into the City of Ocoee, and the rezoning would amend the zoning classification of the subject property from Orange County A-1 (Citrus Rural District) to City of Ocoee R-1 (Single-Family Dwelling).

Interested parties may appear at the public hearing and be heard with respect to the proposed action. The complete case file may be inspected at the Ocoee Development Services Department, located at 1 North Bluford Avenue, Ocoee, Florida, between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday, except for legal holidays. The Planning and Zoning Commission may continue the public hearing to other dates and times as it deems necessary. Any interested party shall be advised that the dates, times, and places of any continuation of these or continued public hearings shall be announced during the hearings and that no further notices regarding these matters will be published. You are advised that any person who desires to appeal any decision made during the public hearings will need a record of the proceedings and, for this purpose, may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. Persons with disabilities needing assistance to participate in any of the proceedings should contact the City Clerk's Office 48 hours in advance of the meeting at (407) 905-3105.

May 28, 2026

26-01772W

Attention: If you are a government agency and you believe that you qualify for a 15% discount to the second insertion of your notice per F.S. revision 50.061, please inform Kristen Boothroyd directly at 941-906-9386 x323.

NOTICE

The Business Observer makes every effort to ensure that its public notice advertising is accurate and in full compliance with all applicable statutes and ordinances and that its information is correct. Nevertheless, we ask that our advertisers scrutinize published ads carefully and alert us immediately to any errors so that we may correct them as soon as possible. We cannot accept responsibility for mistakes beyond bearing the cost of republishing advertisements that contain errors.

3. That the special conditions and circumstances do not result from the actions of the applicant; and
4. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by these regulations to other lands, structures, or required subdivision improvements under similar conditions.

Applicant's Response: The applicant's justification is as follows:

The request for a variance on the allowable square footage of wall signage is to provide the best customer experience possible. The proposed wall signage serves as wayfinding for the customer to know what services are offered and where.

Staff Analysis: Staff finds that the justification provided by the applicant does not support or sufficiently demonstrate compliance with the four (4) evaluation criteria. Staff's analysis is summarized below:

Criteria 1: Special Circumstances and Conditions: There are no special conditions or circumstances that exist that are peculiar of the land. There are various, non-residential buildings located in the city with previously permitted signage that were designed to conform with the city code sections. Staff identifies no special conditions or circumstances of the building that sufficiently justifies the variances requests.

Criteria 2: Literal Interpretation of the Code: The literal interpretation of the provisions of these regulations would not deprive the applicant of rights commonly enjoyed by other properties of similar conditions. Due to the size of the proposed building being approximately 48,583 square feet, the building is permitted a wall sign area of 100 square feet and height of four (4) feet. Additionally, because the property is a corner lot with frontage along Clarcona Ocoee Road and N Lakewood Avenue, the building has the added benefit of being allotted an additional sign on the east elevation with the additional allowed sign area of 100 square feet and height of four (4) feet. For the canopy sign, there is also no justification to increase the sign height and width as a 6 (six) inch tall, 21 foot wide sign provides ample copy area to be legibly read by motorists. Staff finds the literal interpretation of the code sections does not deprive the applicant but rather provides ample allowed signage for both elevations.

Criteria 3: Actions of the Applicant: The circumstances of the variances request are the result of the applicant requesting increased copy area and height of the various signs located on the north and east elevation of the building. There is no valid justification to rationalize the need for the significant increase in copy area, height, and width of the various signs as the size of the letters and logos can be reduced.

Criteria 4: Conference of Special Privilege: Granting the requested variances would confer a special privilege to the applicant that is denied by these regulations to other non-residential properties under similar conditions, as other non-residential buildings are subject to the maximum allowed height and copy area of wall signage as well as height and width of canopy signs. If the signs are constructed to meet the standards set in the respective code sections, the building will have a 100 square foot wall sign on the north and west elevation of the building and a six (6) inch tall, 21-foot wide canopy sign on the north elevation. Staff believes the signs copy area, height, and design in conformance with the sign code sections will provide sufficient signage for the building.

Staff does not support the requested variances, as there is insufficient code-based justification.

ISSUE:

Should the Planning and Zoning Commission (PZC) recommend approval for the requested variances to Article VIII Sections 8-6A. and 8-6D. of the Land Development Code as follows: (1) a maximum sign height of 10'-4" for the north sign elevation, (2) a maximum sign height of 7'-9" for the east sign elevation, (3) a maximum sign area of 459.7 square feet for the north sign elevation, (4) a maximum sign area of 159.8 square feet for the east sign elevation, (5) a maximum sign height of 1'-6" for the north canopy, and (6) a maximum sign width of 22 feet for the north canopy?

RECOMMENDATIONS:

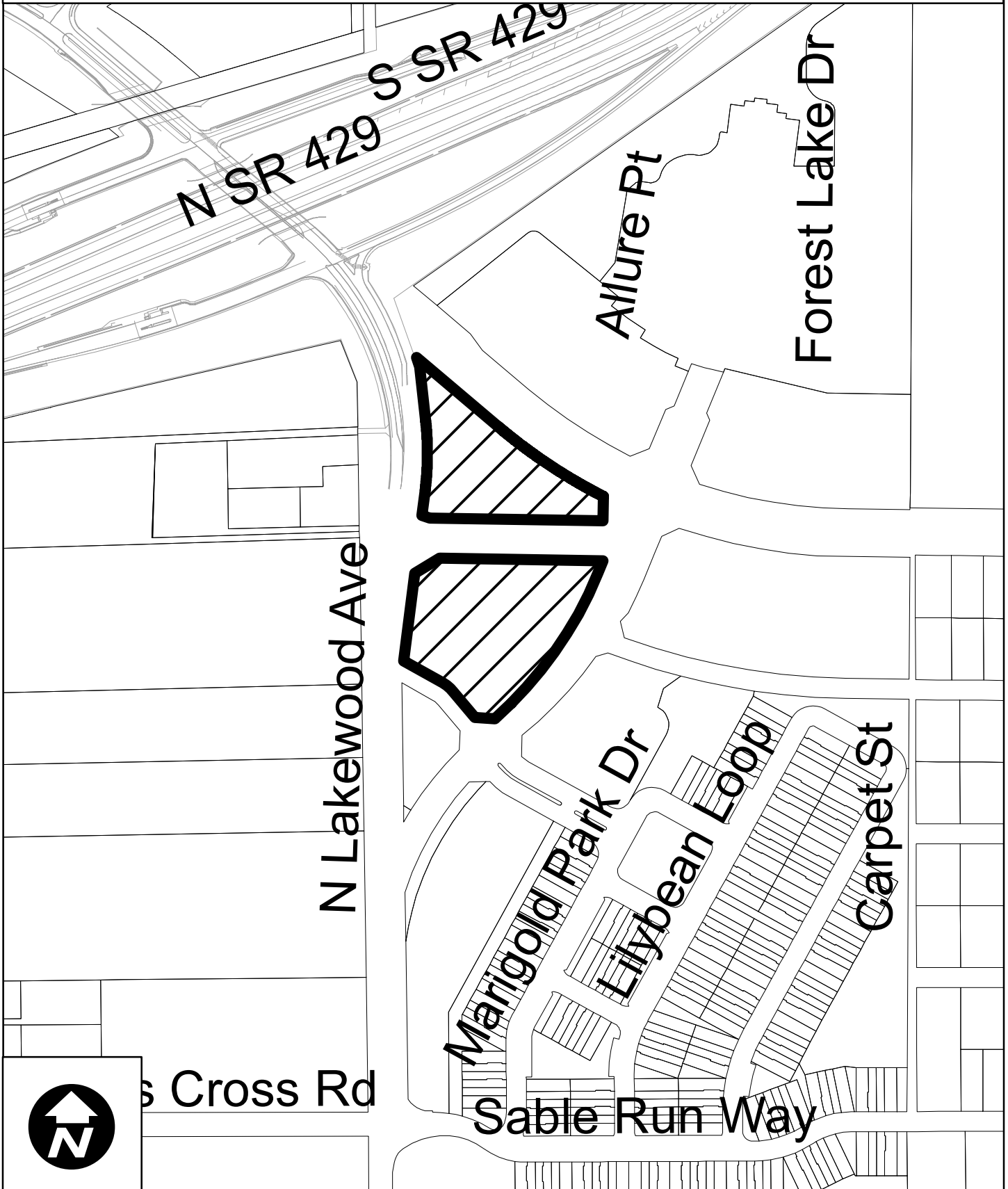
Staff recommends that the Planning and Zoning Commission (PZC) make a recommendation of denial of the requested variances to Article VIII Sections 8-6 A. and 8-6D. of the Land Development Code to not allow the following: (1) a maximum sign height of 10'-4" for the north sign elevation, (2) a maximum sign height of 7'-9" for the

east sign elevation, (3) a maximum sign area of 459.7 square feet for the north sign elevation, (4) a maximum sign area of 159.8 square feet for the east sign elevation, (5) a maximum sign height of 1'-6" for the north canopy, and (6) a maximum sign width of 22 feet for the north canopy.

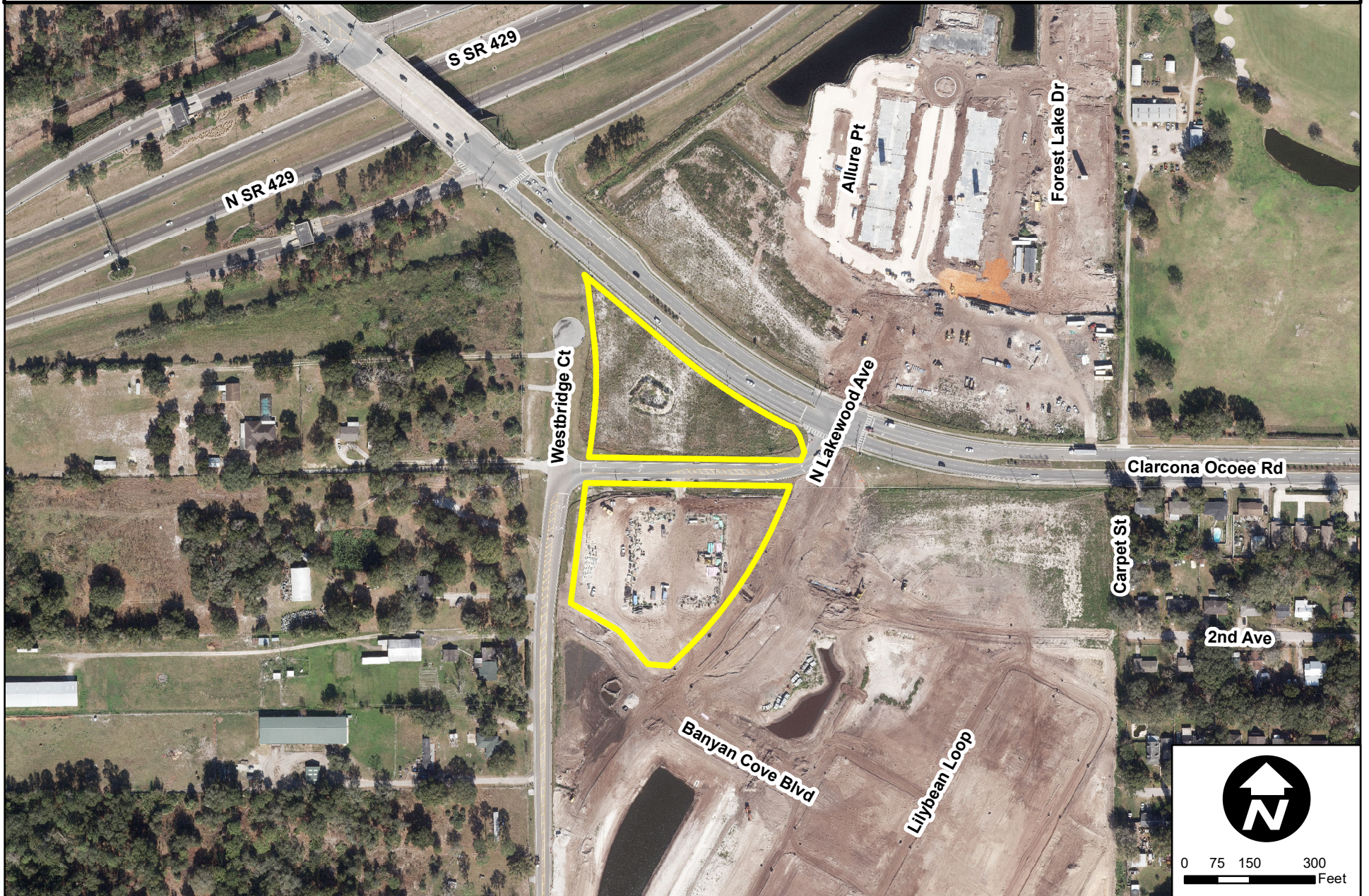
ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Zoning Map
4. FLU Map
5. Proposed Signage
6. Approved Overall Site Plan
7. WOT Ad Walmart Neighborhood Market Variance

Walmart Neighborhood Market Location Map



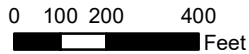
Walmart Neighborhood Market Aerial Photography



Walmart Neighborhood Market Surrounding Zoning Map



Development Services
Department

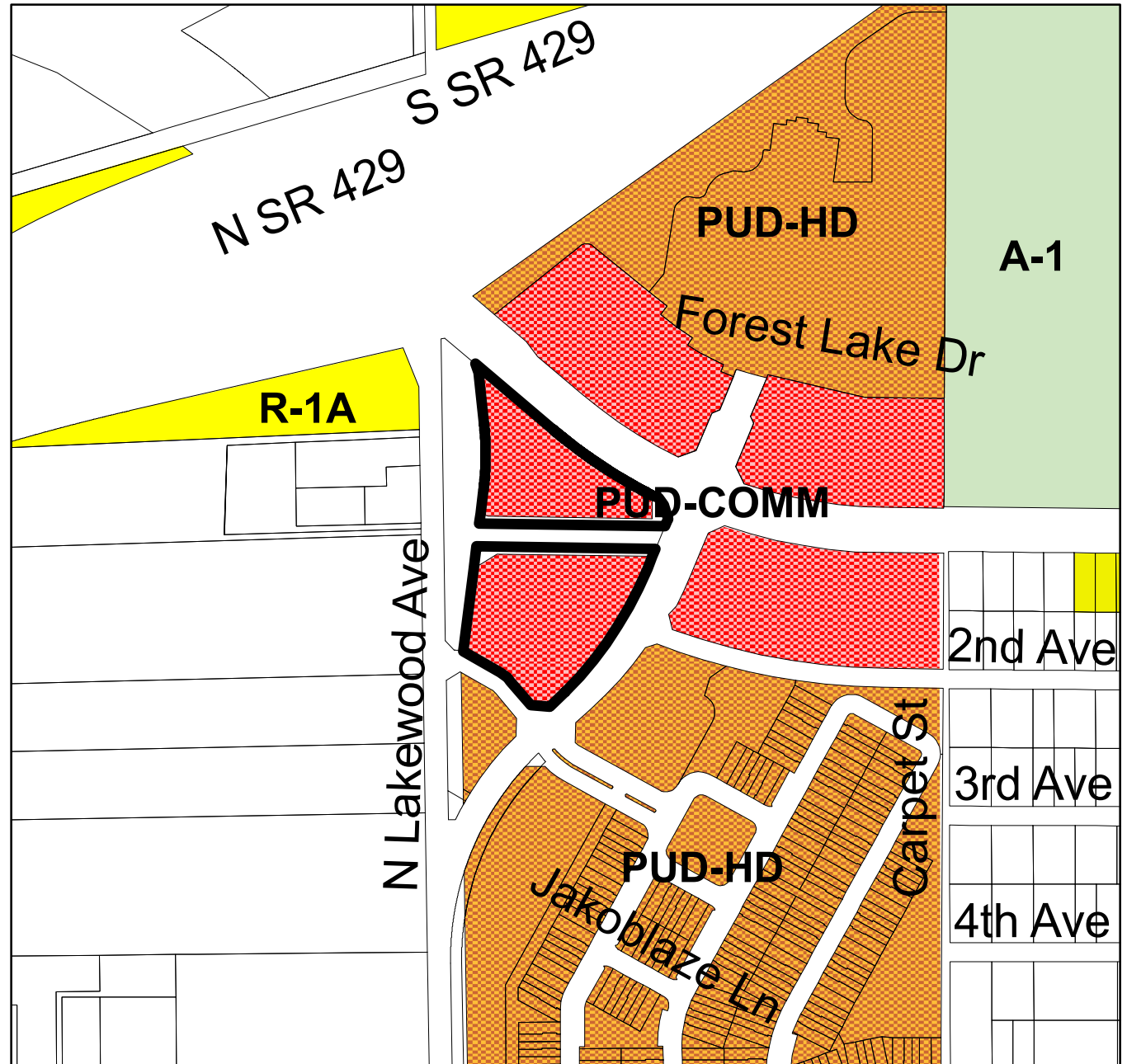


Created: October 2025

Subject Property

Zoning Classification:

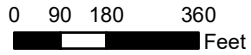
- General Agricultural (A-1)
- Suburban (A-2)
- Single-Family Dwelling (R-1AAA)
- Single-Family Dwelling (R-1AA)
- Single-Family Dwelling (R-1A)
- Single-Family Dwelling (R-1)
- One- & Two-Family Dwelling (R-2)
- Multiple-Family Dwelling (R-3)
- Mobile Home Subdivision (RT-1)
- Professional Offices & Services (P-S)
- Neighborhood Shopping (C-1)
- Community Commercial (C-2)
- General Commercial (C-3)
- Restricted Manufacturing & Warehousing (I-1)
- General Industrial (I-2)
- Commercial (PUD)
- Low Density (PUD)
- Medium Density (PUD)
- High Density (PUD)
- Public Use (PUD)
- Unclassified



Walmart Neighborhood Market Surrounding Future Land Use Map













Development Services
Department

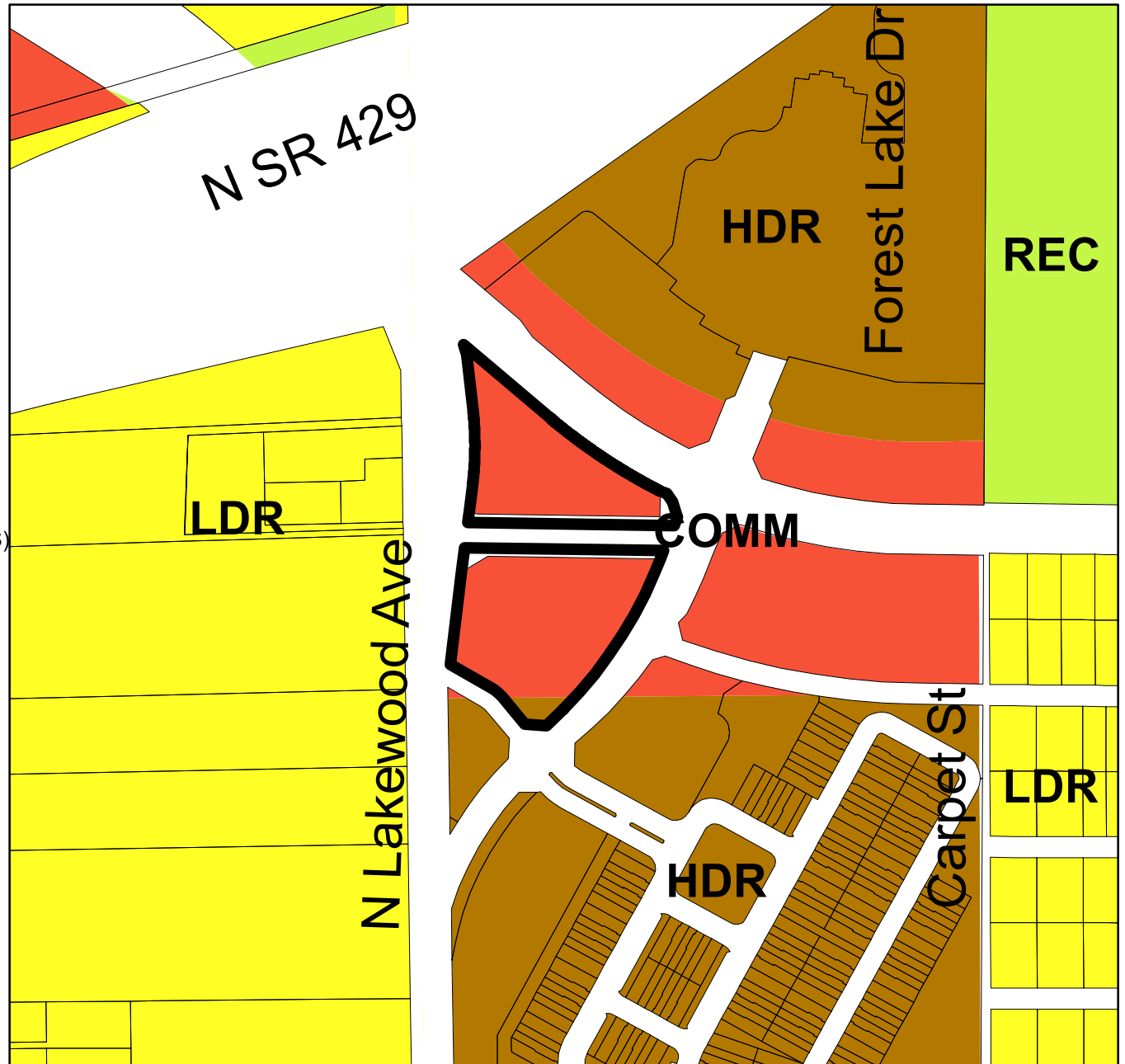


Created: October 2025

 Subject Property

Future Land Use Classification:

-  Low Density Residential (LDR)
-  Medium Density Residential (MDR)
-  High Density Residential (HDR)
-  Professional Offices and Services (PS)
-  Commercial (COMM)
-  Light Industrial (LI)
-  Heavy Industrial (HI)
-  Conservation/Floodplains (CONS)
-  Recreation and Open Space (REC)
-  Public Facilities/Institutional (INST)



STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED ABOVE. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HFA-AE, L.T.D. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT.

Walmart
OCOE, FL
CLARCONA OCOEE RD & LAKEWOOD AVE
STORE NO. 03657-1000
JOB NUMBER: 22-24-03657 PROTO: L-L-45 (R-X-R)

ISSUE BLOCK

1	PR#1	11/24/25
2	CCD#3	01/14/26

CHECKED BY: MT/KW
DRAWN BY: DP/DS
DOCUMENT DATE: 04/14/25
PROTO: L-L-45 (R-X-R)
PROTO CYCLE: 12/13/24

NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

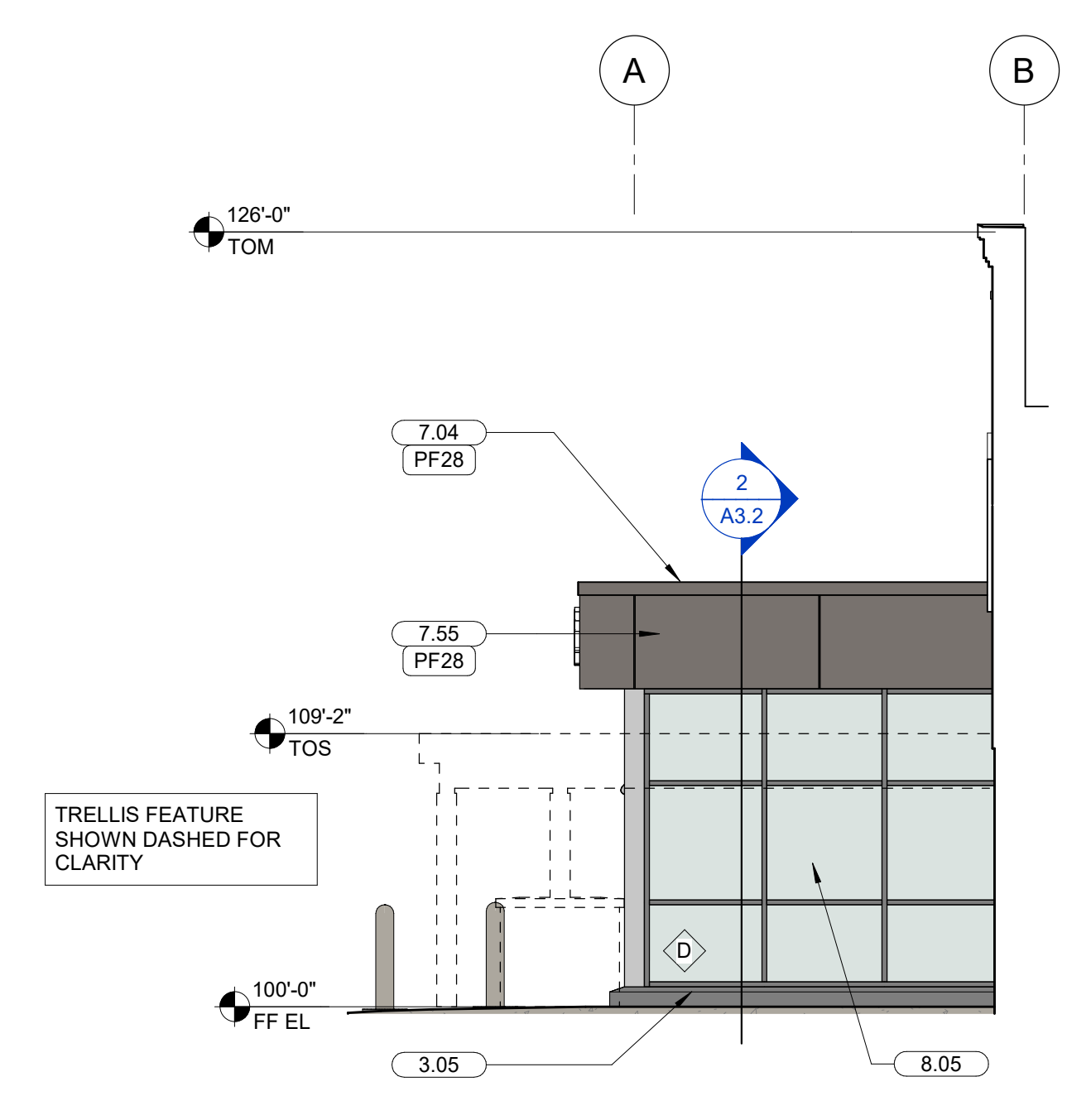
SHEET: **A2**

COLOR LEGEND

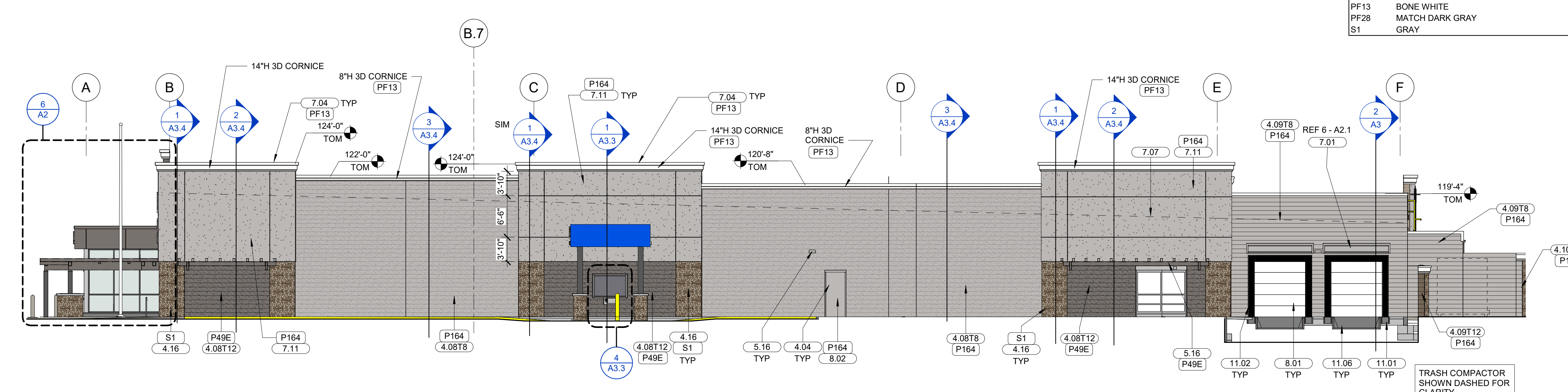
P49E	SAFETY YELLOW
P49E	DARK GRAY
P162E	BLACK GRAY
P164	"ESSENTIAL GRAY" SW #6002
P218E	TRUE BLUE
PF13	BONE WHITE
PF28	MATCH DARK GRAY
S1	GRAY

- SHEET NOTES**
1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY
 2. DOOR HOODS, HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNLESS THERE ARE TWO ADJACENT COLORS AT DOORS USE THE BOTTOM COLOR FOR THE ENTIRE DOOR
 3. PARAPET STEPS OCCUR AT CONTROL JOINTS - REF STRUCTURAL FOR CONTROL JOINT LOCATIONS
 4. GRIND SPLIT FACE CMU SMOOTH AT ANY BRACKET ATTACHMENTS TO MATCH THE SIZE OF THE BRACKET
 5. REF ROOF PLANS FOR DOWNSPOUT SIZES AND LOCATIONS
 6. REF ROOF PLANS FOR GUTTER SIZES

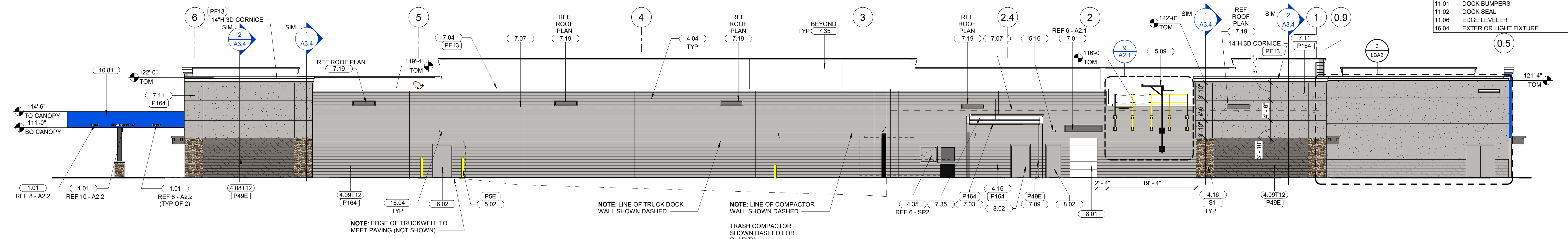
- KEYNOTE LEGEND**
- | | |
|---------|--|
| 1.01 | SIGNAGE |
| 3.05 | CONCRETE CURB |
| 4.04 | CONTROL JOINT, TYP, REF STRUC |
| 4.08T8 | 8" SPLIT FACE CMU |
| 4.08T12 | 12" SPLIT FACE CMU |
| 4.09 | SMOOTH FACE CMU |
| 4.09T8 | 8" SMOOTH FACE CMU |
| 4.09T12 | 12" SMOOTH FACE CMU |
| 4.10T12 | 12" SMOOTH FACE CMU, REF STRUC FOR GROUT LOCATIONS |
| 4.16 | MANUFACTURED STONE VENEER |
| 4.35 | 40"x36" OPENING AT TRASH COMPACTOR, BOTTOM OF OPENING IS 42" AFF |
| 5.02 | PAINTED 6" PIPE BOLLARD |
| 5.09 | JIB CRANE HOIST ARM AND RAILING ASSEMBLY |
| 5.16 | HOLLOW STRUCTURAL STEEL SECTION (HSS) OPEN CANOPY SYSTEM, REF STRUCTURAL |
| 7.01 | SHEET METAL DOOR HOOD PAINTED TO MATCH ADJACENT UNO |
| 7.03 | METAL GUTTER, PREFINISHED, UNO |
| 7.04 | METAL FASCIA COVER |
| 7.07 | ROOF LINE BEYOND |
| 7.09 | METAL DOWNSPOUT, PREFINISHED |
| 7.11 | EXTERIOR CEMENT PLASTER |
| 7.19 | OVERFLOW SCUPPER |
| 7.35 | ROOFING MEMBRANE |
| 7.55 | ALUMINUM COMPOSITE PANELS |
| 8.01 | SECTIONAL OVERHEAD DOOR, TYP |
| 8.02 | HOLLOW METAL DOOR AND FRAME |
| 8.05 | ALUMINUM STOREFRONT |
| 10.01 | FLAGPOLE |
| 10.37 | 3 1/2"x3 1/2" HIGH IMPACT HEAVY DUTY EPDM CORNER GUARD, HOLD 2" AFF |
| 10.81 | CANOPY SYSTEM, VENDOR FURNISHED, GC INSTALLED |
| 11.01 | DOCK BUMPER |
| 11.02 | DOCK SEAL |
| 11.06 | EDGE LEVELER |
| 16.04 | EXTERIOR LIGHT FIXTURE |



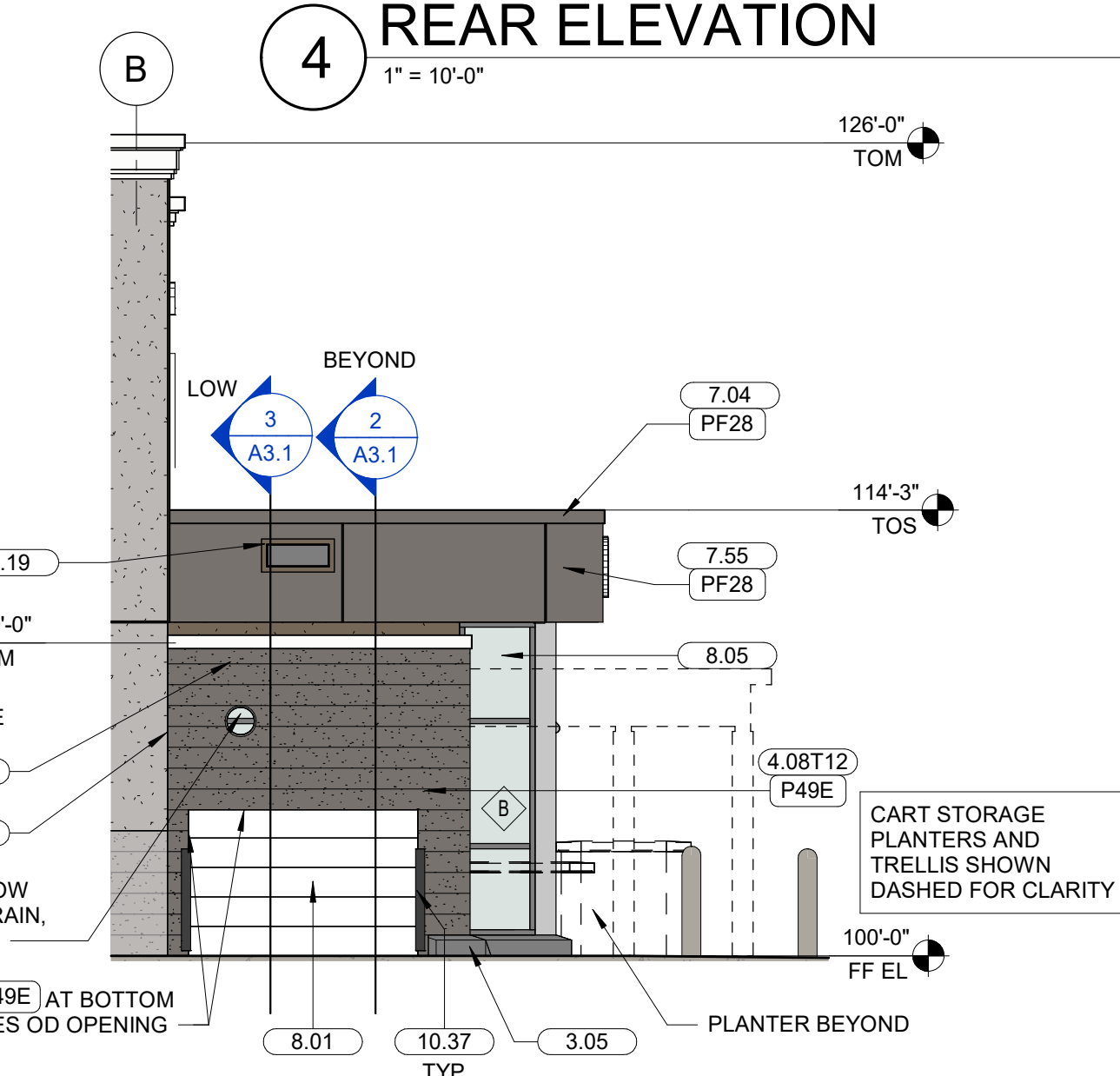
6 ENTRY SIDE ELEVATION
3/16" = 1'-0"



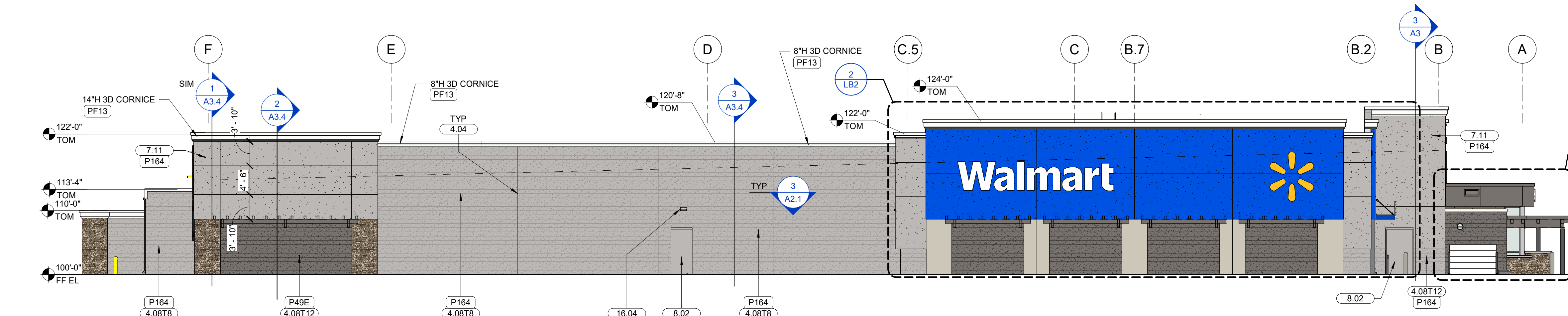
5 LEFT ELEVATION
1" = 10'-0"



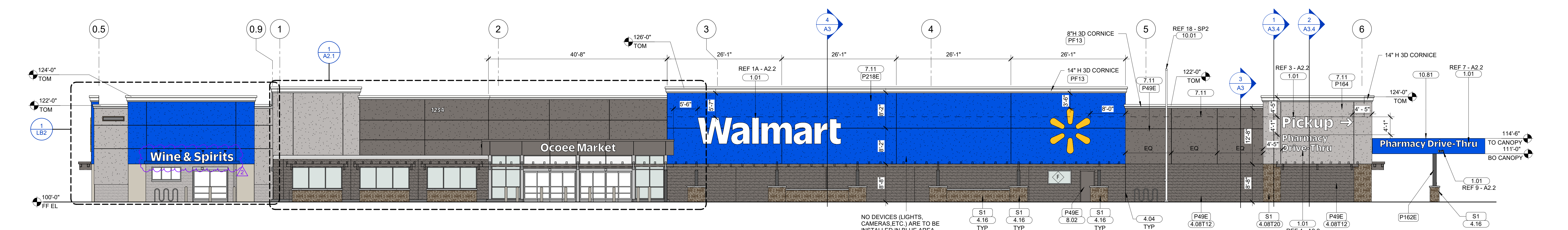
4 REAR ELEVATION
1" = 10'-0"



3 ENTRY RIGHT ELEVATION
3/16" = 1'-0"

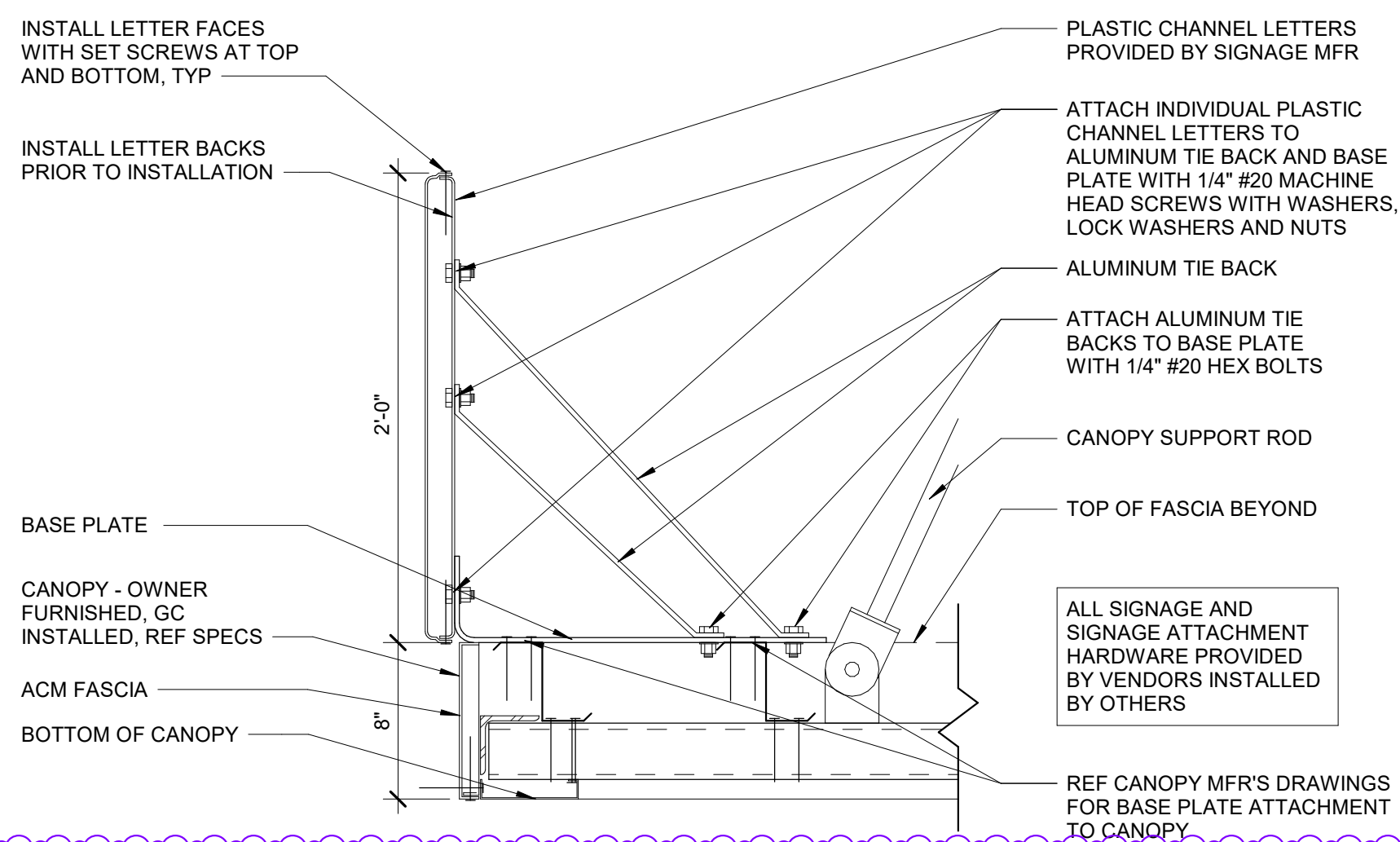


2 RIGHT ELEVATION
1" = 10'-0"



1 FRONT ELEVATION
1" = 10'-0"

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18 CANOPY SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

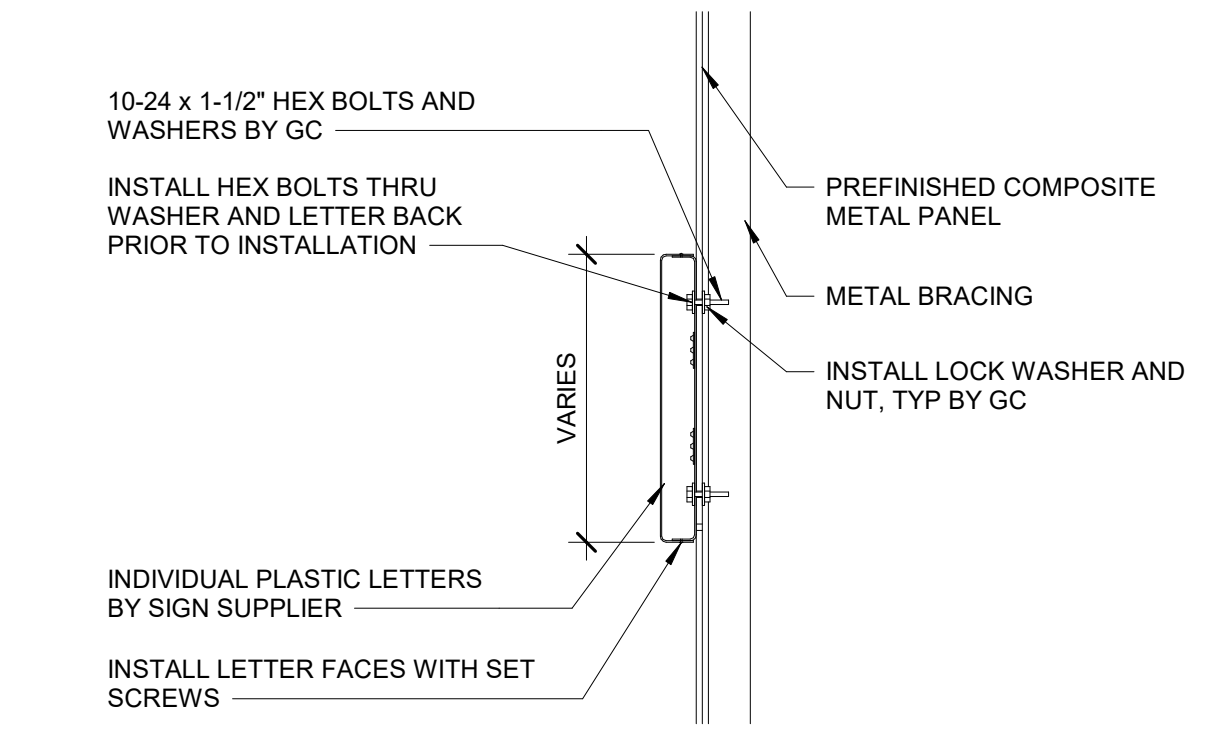
NEW ENTERPRISE SIGNAGE SCHEDULE

NOTE: THE SQUARE FOOTAGE IS NOT REQUIRED FOR THE SIGNAGE SHOWING 0.00 SF.

ETR / NEW	SIGNAGE	QTY	HEIGHT	COLOR	ILLUMINATED	TOTAL FONT / SHAPE AREA (SF)	TOTAL RECTANG / CIRCLE AREA (SF)
FRONT ELEVATION							
NEW	ADDRESS NUMBERS	1	1'-0"	WHITE	NO	0.00	0.00
NEW	Ocoee MARKET	1	1'-10"	WHITE	NO	15.32	32.80
NEW	PHARMACY DRIVE-THRU (STACKED)	1	1'-6"	WHITE	NO	15.77	42.90
NEW	PICKUP →	1	2'-6"	WHITE	YES	17.69	51.34
NEW	SPARK	1	6'-0"	YELLOW	YES	9.44	28.54
NEW	WALMART	1	6'-0"	WHITE	YES	114.09	200.12
FRONT ELEVATION:	6	6				172.31	355.70
SIDE ELEVATION							
NEW	SPARK	1	7'-9"	YELLOW	YES	15.60	47.18
NEW	WALMART	1	4'-6"	WHITE	YES	64.17	112.57
SIDE ELEVATION:	2	2				79.77	159.75
PHARMACY CANOPY							
NEW	CLEARANCE 11'-0"	1	6"	WHITE	NO	0.00	0.00
NEW	ENTER	2	6"	WHITE	NO	0.98	1.90
NEW	EXIT	1	6"	WHITE	NO	0.36	0.69
NEW	PHARMACY DRIVE-THRU	1	1'-6"	WHITE	NO	15.77	42.90
PHARMACY CANOPY:	5	5				17.11	45.08
Grand total:	13	13				269.19	560.50

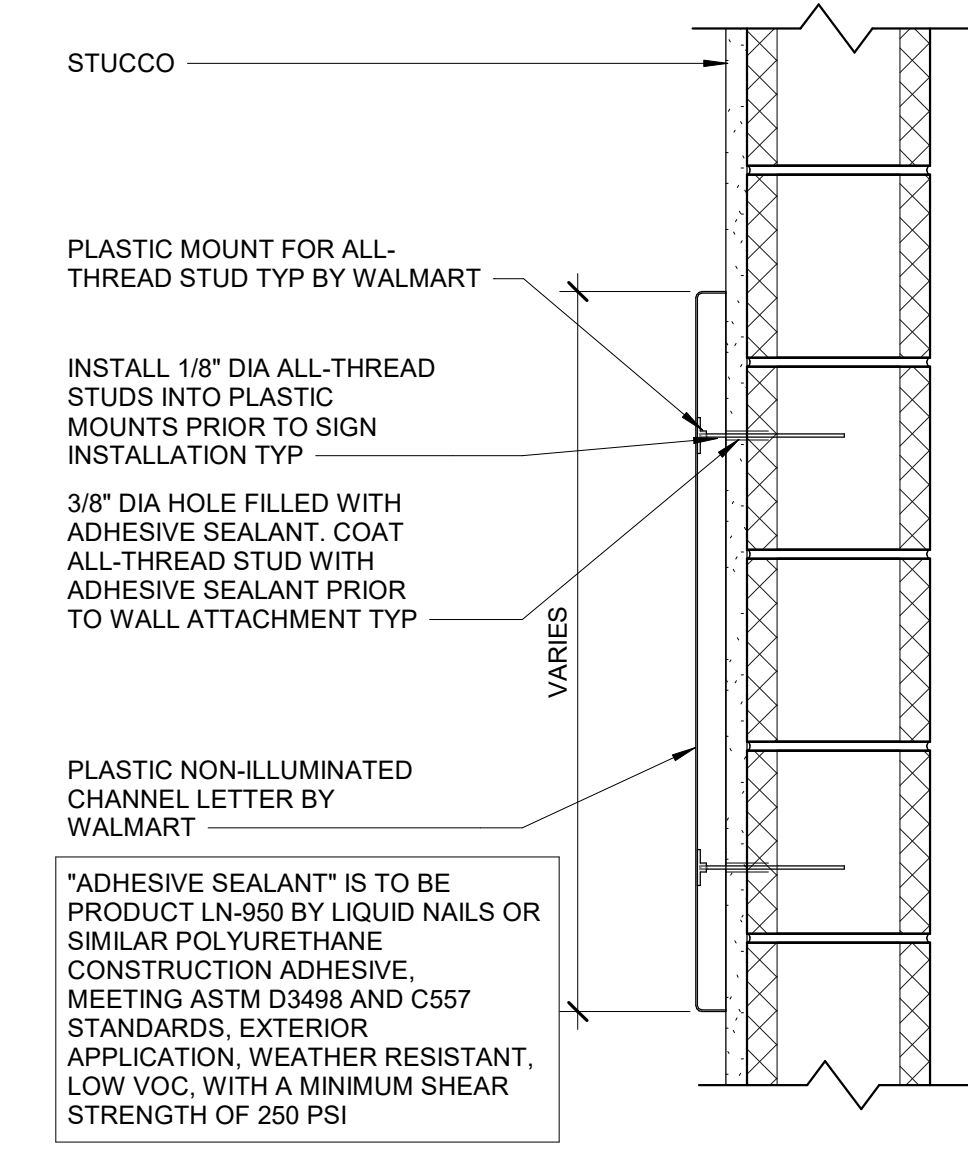
13 SIGN ATTACHMENT AT CANOPY

1 1/2" = 1'-0"



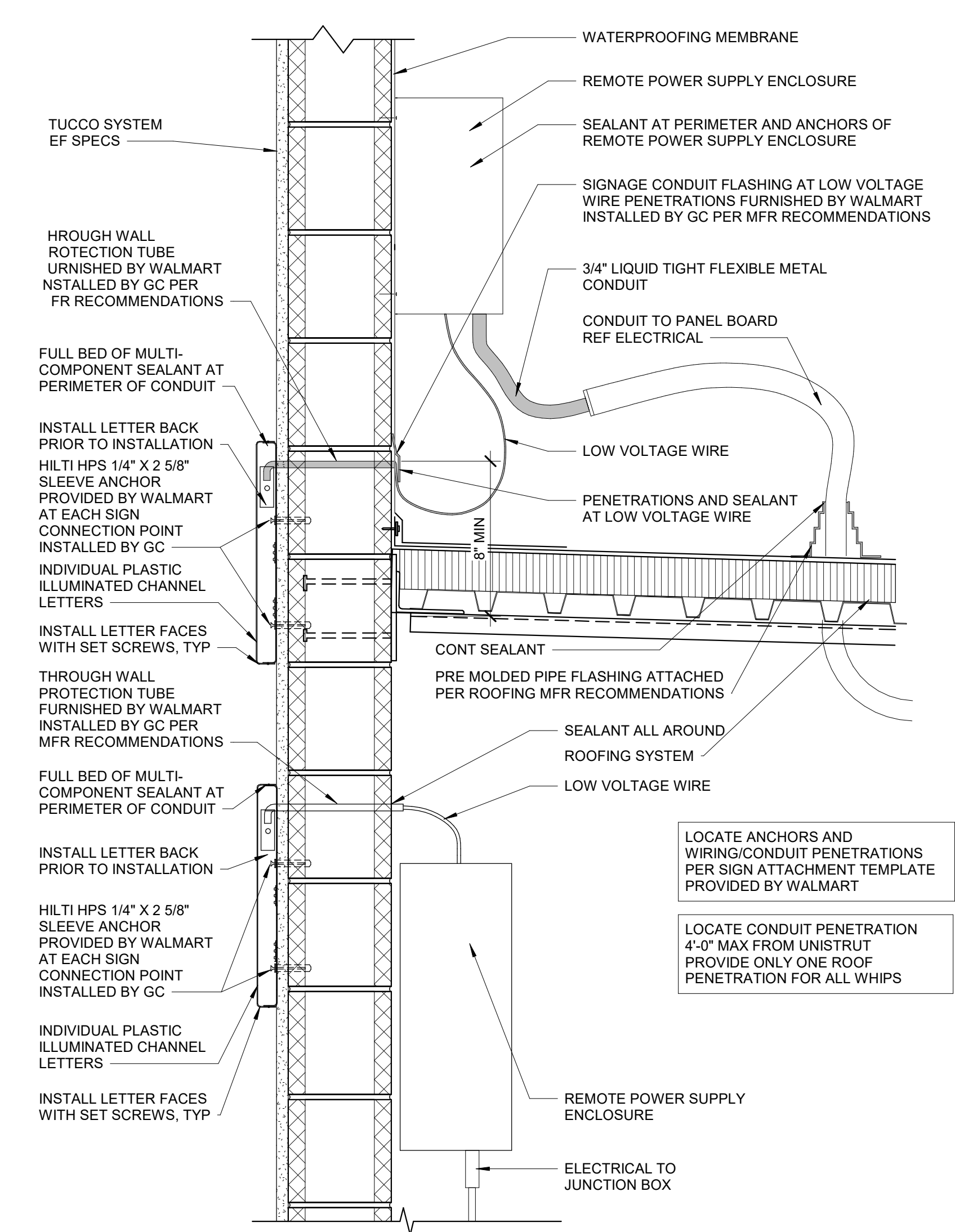
12 SIGN ATTACHMENT

1 1/2" = 1'-0"



11 ILLUMINATED SIGN ATTACHMENT

1 1/2" = 1'-0"



NOTE: SQUARE FOOTAGE NOT REQUIRED IN BUILDING SIGNAGE SCHEDULE

10 6" CLEARANCE SIGN
1/4" = 1'-0"

9 6" EXIT SIGN
1/4" = 1'-0"

8 6" ENTER SIGN
1/4" = 1'-0"

7 1'-6" PHARMACY DRIVE-THRU SIGN
1/4" = 1'-0"

6 1'-0" ADDRESS SIGN
1/4" = 1'-0"

5 2'-0" WINE & SPIRITS SIGN
1/4" = 1'-0"

4 1'-6" PHARMACY DRIVE-THRU SIGN (STACKED)
1/4" = 1'-0"

3 2'-6" PICKUP RIGHT SIGN
1/4" = 1'-0"

2 1'-10" ANYTOWN MARKET SIGN
1/4" = 1'-0"

1B 4'-6" WALMART SIGN
1/4" = 1'-0"

11 6'-0" WALMART SIGN
1/4" = 1'-0"

1A 6'-0" WALMART SIGN
1/4" = 1'-0"

11 6'-0" WALMART SIGN
1/4" = 1'-0"

NOT FOR CONSTRUCTION

EXTERIOR SIGNAGE AND MISC DETAILS

SHEET: A2.2

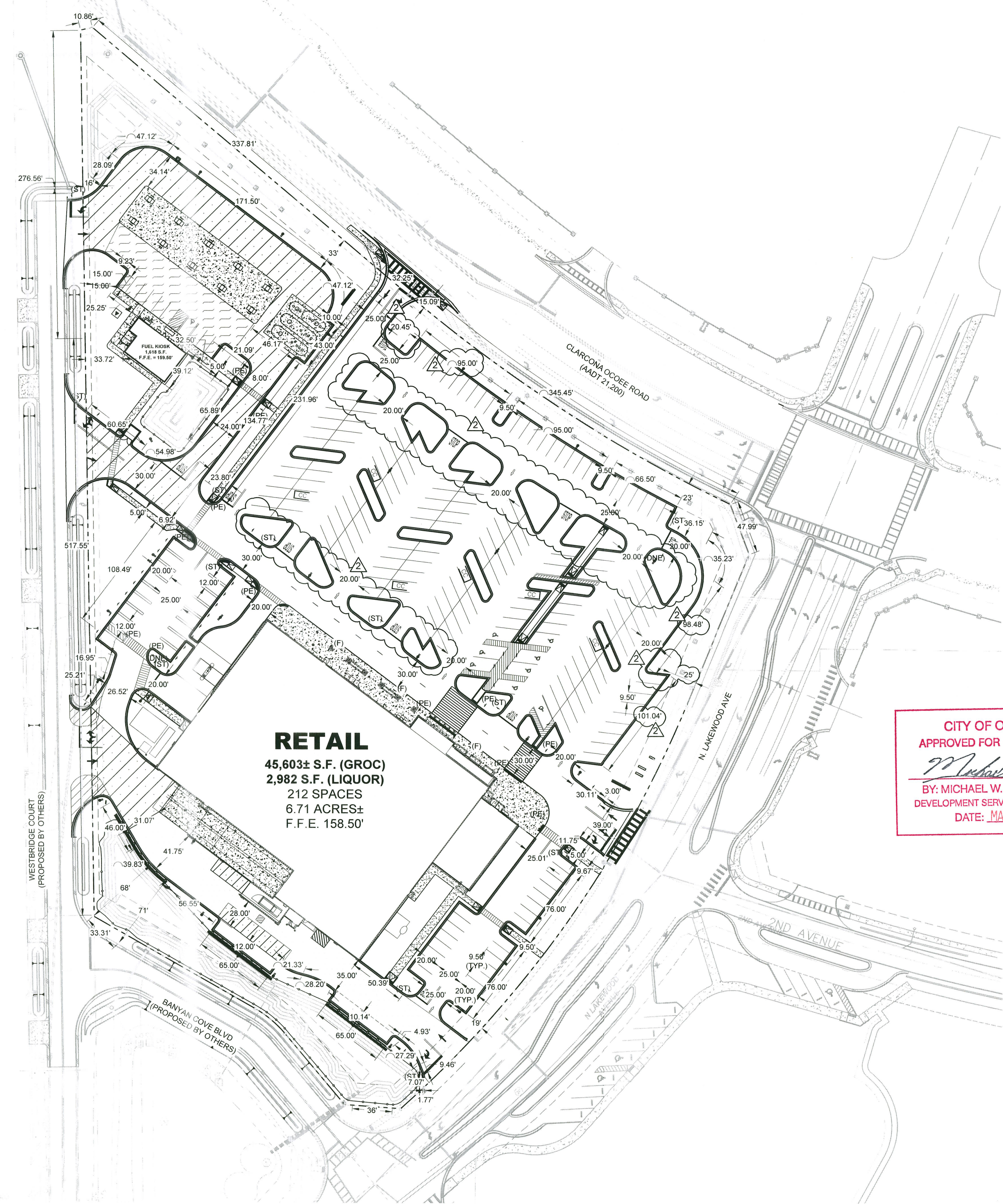
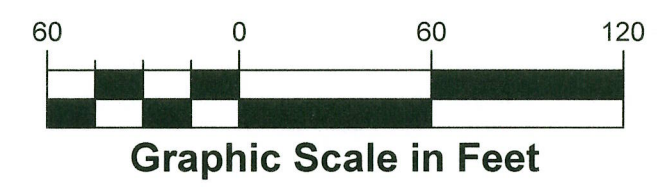
No.	Date	Revision
1	01/26/25	PER CITY OF OCOEE COMMENTS
2	07/29/25	PER CITY OF OCOEE COMMENTS

Designed: M. LOMELI
Drawn: D. COLLAZO
Checked: J. LOCKHART
Job No.: W131430
Date: 06/2025 © 2026

OVERALL SITE PLAN
NEW GROCERY AND FUEL STATION
CITY OF OCOEE, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.
C1.1



RETAIL
45,603± S.F. (GROC)
2,982 S.F. (LIQUOR)
212 SPACES
6.71 ACRES±
F.F.E. 158.50'

CITY OF OCOEE
APPROVED FOR PERMITTING
Michael W. Rumer
BY: MICHAEL W. RUMER, JR.
DEVELOPMENT SERVICES DIRECTOR
DATE: MAR 02 2026

PROPOSED PAVEMENT LEGEND

- SIDEWALK: PER DETAIL SHEET C5.0
- ARCHITECTURAL CONCRETE: SEE ARCH. PLANS
- HEAVY DUTY CONCRETE: PER DETAIL SHEET C5.0
- STANDARD DUTY CONCRETE: PER DETAIL SHEET C5.0
- HEAVY DUTY PAVEMENT: PER DETAIL SHEET C5.0
- STANDARD DUTY ASPHALT PAVEMENT: PER DETAIL SHEET C5.0
- PARKING SPACE COUNT
- CART CORRAL
- TRANSFORMER

ACREAGE SUMMARY

WALMART	6.71±
FUEL STATION	1.28±
TOTAL	7.99±

PARKING RATIO

	BUILDING SQ. FT.	NO. of SPACES	RATIO
PROP. WALMART W/ LIQUOR BOX	48,585±	195	4.01 / 1000 S.F.
PROP. WALMART W/ LB & OPD	48,585±	212	4.36 / 1000 S.F.
PROP. GAS	1,618±	10	6.18 / 1000 S.F.
TOTAL WITHOUT OPD	50,203±	205	4.08 / 1000 S.F.
TOTAL WITH OPD	50,203±	222	4.42 / 1000 S.F.

-TOTAL PARKING SPACES WITHIN 150 FEET OF ENTRY IS 42 STALLS.
-ONLINE PICKUP SPACES = 17
-ADA SPACES IN WALMART PARKING FIELD = 8
-CART CORRALS = 6 SPACES
-CART CORRALS WERE NOT INCLUDED IN THE PARKING RATIO CALCULATION.

SITE DATA INFORMATION

ZONING INFORMATION

ZONING: PUD
PROPOSED USE: COMMERCIAL

BUILDING HEIGHT: 25 FT. (MAX.)

SETBACKS:	REQUIRED	PROPOSED
22 FT. FROM CLARCONA OCOEE RD		22'
10 FT. FROM N. LAKEWOOD AVE		19'
5 FT. FROM CONTIGUOUS PROPERTY NOT WITHIN THE PROPERTY		5'
20 FT. FROM BANYAN COVE BLVD		20'

LAND COVERAGE SUMMARY

IMPERVIOUS AREA - BUILDINGS AND FUEL STATION CANOPY:	55,112 S.F.	(1.27 AC.)	- 15.84% OF SITE
IMPERVIOUS AREA - PARKING/SIDEWALKS:	187,461.8 S.F.	(4.30 AC.)	- 53.85% OF SITE
TOTAL IMPERVIOUS AREA:	242,573.8 S.F.	(5.57 AC.)	- 69.69% - 70% OF SITE
PERVIOUS AREA/OPEN AREA:	105,523.2 S.F.	(2.42 AC.)	- 30.31% - 30% OF SITE
TOTAL SITE AREA:	348,097 S.F.	(7.99 AC.)	- 100.00% OF SITE

BUILDING INFORMATION

GROCERY BUILDING:	47,481 SF (APPROX.)
FUEL STATION C-STORE:	1,511 S.F. (APPROX.)
FUEL STATION CANOPY:	6,120 S.F. (APPROX.)
TOTAL:	55,112 S.F. (APPROX.)

PARKING INFORMATION

SECTION 4.2 INTERCHANGE VILLAGE PARKING REQUIREMENTS:

PARKING REQUIRED:

RETAIL (COMMERCIAL OR GENERAL RETAIL INDEPENDENTLY LOCATED): 48,585 S.F. / 333 = 146 SPACES
FUEL STATION C-STORE (COMMERCIAL OR GENERAL RETAIL INDEPENDENTLY LOCATED): 1,618 S.F. / 333 = 5 SPACES
TOTAL REQUIRED = 151 PARKING SPACES

PARKING PROVIDED: 222

RETAIL:

9.5 FT. X 20 FT SPACES =	187
12 FT. X 20 FT PICKUP SPACES =	17
12 FT. X 20 FT ADA SPACES =	8
SUBTOTAL =	212 PARKING SPACES**

**EXCLUDES 6 SPACES UTILIZED BY CART CORRALS

FUEL STATION:

9.5 FT. X 18 FT SPACES =	9
12 FT X 18 FT ADA SPACES =	1
SUBTOTAL =	10

RETAIL PARKING:

4.01 SPACES PER 1,000 SF OF PROTO BUILDING AREA (48,585 SF) + 17 PICKUP SPACES = 212 SPACES
FUEL STATION: 6.18 SPACES PER 1,000 SF (1,618 S.F.) = 10 SPACES
MEDIAN AGE: 35.1 (ASSUMED)

NOTE:
1 ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS
2 CONSTRUCTION OF WESTBRIDGE COURT AND BANYAN COVE BLVD DONE BY OTHERS.



**CITY OF OCOEE
PLANNING & ZONING COMMISSION**
(Local Planning Agency)

STAFF REPORT

Meeting Date: June 9, 2026
Item #: 3

Contact Name: Brett McFarlane, Concurrency & Commitment Coordinator **Department Director:** Nick Lepp

Subject: Text Amendment to the Land Development Code, Creating Section 4-13 to Establish Regulations and Procedures for Certified Recovery Residences (**Community Development Administrator McFarlane**)

BACKGROUND SUMMARY:

Senate Bill (SB) 954 was signed into law by the Governor with an effective date of July 1, 2025. The purpose of SB 954 was to require local governments to adopt an ordinance to formalize and streamline the process for applicants seeking reasonable accommodations under land use regulations for certified recovery residences. The proposed text amendment to the City's Land Development Code (LDC) would create section 4-13 to include language required by SB 954 regarding certified recovery residences. Specifically, this text amendment to the LDC would establish an application process with the City's Planning division, establish processing timelines, establish review criteria, and establish the process for the revocation and reinstatement of accommodations granted under this section of the Code. City staff is currently in the process of updating the City's Land Development Code. This text amendment would have been included in that substantial update to the City's LDC; however, SB 180 prevents any substantial updates to the City's LDC at this time. The language in SB 954 requires that the City update the LDC to include specific language regarding certified recovery residences.

Recovery residences are defined in Florida Statute as "...a residential dwelling unit, the community housing component of a licensed day or night treatment facility with community housing, or other form of group housing, which is offered or advertised through any means, including oral, written, electronic, or printed means, by any person or entity as a residence that provides a peer-supported, alcohol-free, and drug-free living environment."

Certified recovery residences are licensed through the Florida Department of Children and Families. According to the Florida Association of Recovery Residences (FARR), there are currently no Certified Recovery Residences within the City of Ocoee. Under the existing City of Ocoee Code, an applicant seeking to establish a certified recovery residence within the City would need to apply for and receive a Local Business Tax receipt. Further review and permitting by the City's Building Division and Fire Department may be required, depending on any proposed alterations to the building where the certified recovery residence is proposed to be located.

ISSUE:

Should the Planning & Zoning Commission (PZC), acting as the Local Planning Agency (LPA), recommend approval for the proposed text amendment amending Article IV of the Ocoee Development Code to create section 4-13 to establish regulations and procedures for certified recovery residences, including a process for requesting reasonable accommodation as required by Chapter 2025-182, Laws of Florida?

RECOMMENDATIONS:

Staff recommends that the Planning & Zoning Commission (PZC), acting as the Local Planning Agency (LPA), recommend approval for the proposed text amendment amending Article IV of the Ocoee Development Code to create section 4-13 to establish regulations and procedures for certified recovery residences, including a process for requesting reasonable accommodation as required by Chapter 2025-182, laws of Florida.

ATTACHMENTS:

1. Ordinance
2. Business Impact Estimate

3. Advertisement

ORDINANCE 2026-__

AN ORDINANCE OF THE CITY OF OCOEE, FLORIDA, AMENDING ARTICLE IV, OF THE OCOEE LAND DEVELOPMENT CODE TO CREATE SECTION 4-13 TO ESTABLISH REGULATIONS AND PROCEDURES FOR CERTIFIED RECOVERY RESIDENCES, INCLUDING A PROCESS FOR REQUESTING REASONABLE ACCOMMODATION AS REQUIRED BY CHAPTER 2025-182, LAWS OF FLORIDA; PROVIDING FOR DEFINITIONS; PROVIDING FOR A REASONABLE ACCOMMODATION PROCESS IN ACCORDANCE WITH FEDERAL AND STATE LAW; PROVIDING FOR APPLICATION REQUIREMENTS, REVIEW PROCEDURES, AND DEADLINES; PROVIDING FOR REVOCATION AND REINSTATEMENT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Legislature of the State of Florida adopted Chapter 2025-182, Laws of Florida, effective July 1, 2025, amending §§397.487 and 397.4871, Florida Statutes, relating to certified recovery residences; and

WHEREAS, Chapter 2025-182 requires all municipalities and counties to adopt ordinances establishing a process for the review and approval of certified recovery residences no later than January 1, 2026; and

WHEREAS, the City Commission of the City of Ocoee recognizes that certified recovery residences provide important housing opportunities for persons in recovery from substance use disorders and are protected under the Fair Housing Amendments Act of 1988 and the Americans with Disabilities Act; and

WHEREAS, the City of Ocoee is committed to ensuring its land use and zoning processes provide equal housing opportunities for individuals with disabilities while maintaining compliance with state and federal law; and

WHEREAS, the City Commission finds that it is in the best interest of the public health, safety, and welfare to establish clear, consistent procedures for processing requests for reasonable accommodation by certified recovery residences.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Ocoee, Florida, that:

SECTION 1. Recitals. The foregoing recitals are true and correct and are incorporated herein by this reference.

SECTION 2. Adoption. Article IV of the Ocoee Land Development Code is hereby amended to create **Section 4-13, Certified Recovery Residences**, to read as follows:

§ 4-13.- Certified Recovery Residences.

A. Definitions. For purposes of this Section, the following terms shall have the meanings set forth in §397.311, Florida Statutes, as amended:

1. **Certified recovery residence** – A recovery residence that holds a valid certificate of compliance and is actively managed by a certified recovery residence administrator as defined in Section 397.311, Florida Statutes, as amended, including Level I through Level IV certified recovery residences.
2. **Certificate of compliance** – A certificate issued by a credentialing entity to a recovery residence or administrator.
3. **Certified recovery residence administrator** – An administrator who holds a valid certificate of compliance.
4. **Reasonable accommodation** – A waiver or modification of land use, zoning, or other regulations to afford persons with disabilities an equal opportunity to use and enjoy a dwelling, consistent with the Fair Housing Amendments Act and the Americans with Disabilities Act.

B. Applicability.

This Section applies to a certified recovery residence seeking a reasonable accommodation from land use, zoning or land development code regulations within the City. This Section shall not supersede any declaration of covenants, conditions, or restrictions of a condominium, cooperative, or homeowners' association governed by Chapters 718, 719, or 720, Florida Statutes. Except for the seeking of a reasonable accommodation, the review and approval of a certified recovery residence is governed by the City's standard review and approval processes and compliance with applicable codes and ordinances.

C. Application for Reasonable Accommodation.

(i) Form of Application. Applications under this Section shall be filed with the Planning Division on a form provided by the City and shall include:

1. Applicant's name, mailing address, telephone number, and email address;
2. Address and parcel identification number of the subject property;
3. Identification of the specific regulation from which relief is sought; and
4. A description of the reasonable accommodation requested along with citations to the applicable code or ordinance provisions at issue and the basis for requesting such accommodation.
5. A copy of the applicable certificate of compliance pertaining to the applicant.

(ii) Processing.

1. The Planning Division shall date-stamp all applications upon receipt.
2. Within thirty (30) days of receipt, the City may request additional information in writing. Applicants shall have at least thirty (30) days to respond.
3. Within sixty (60) days of receipt of a completed application, the Development Services Director or designee shall issue a written determination approving, approving with conditions, or denying the request based on evidence-based findings.

4. If no determination is issued within sixty (60) days of a completed application, and no written extension has been agreed to, the request shall be deemed approved.

D. Review Criteria.

Decisions on a request for a reasonable accommodation under this Section shall be based on making the minimum reasonable accommodation necessary to accomplish the purpose of the request and meet the requirements of the Fair Housing Amendments Act of 1988, the Americans with Disabilities Act, and Chapter 2025-182, Laws of Florida. Conditions may be imposed on the reasonable accommodation, provided such conditions are consistent with federal and state law.

E. Revocation and Reinstatement.

(a) **Revocation.** An accommodation granted under this Section may be revoked by the City if the certified recovery residence: (i) loses its certificate of compliance under Florida law, or (ii) closes or vacates the premises.

(b) **Reinstatement.** If the certificate of compliance is reinstated within one hundred eighty (180) days of revocation, the accommodation may be reinstated administratively by the Development Services Director.

(c) **Appeal.** Any certified recovery residence who is adversely affected by a decision made concerning a request for a reasonable accommodation or revocation of accommodation shall have the right to appeal such decision to the City Commission by filing a notice of appeal with the City Clerk within ten (10) days of the applicable decision along with stating the specific basis of the appeal. The City Commission will conduct a quasi-judicial hearing on the appeal within sixty (60) days of the filing of the appeal unless otherwise agreed to by the Development Services Director and the certified recovery residence.

SECTION 3. Conflicts. In the event of a conflict between this Ordinance and any other ordinance or provision of law, this Ordinance shall control to the extent allowable by law.

SECTION 4. Severability. If any portion of this Ordinance is held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct provision, and such holding shall not affect the validity of the remaining portions.

SECTION 5. Codification. This Ordinance shall be codified in the Code of Ordinances of the City of Ocoee, Florida. Section numbering, formatting, and headings may be altered as necessary.

SECTION 6. Effective Date. This Ordinance shall take effect immediately upon adoption.

SIGNATURE PAGE TO FOLLOW

CITY OF OCOEE, FLORIDA

By: _____
Rusty Johnson, Mayor

ATTEST:

Melanie Sibbitt, City Clerk

(SEAL)

APPROVED BY THE CITY OF OCOEE
COMMISSION AT A MEETING HELD ON
_____, 20____
UNDER AGENDA ITEM NO. _____

FOR USE AND RELIANCE ONLY BY
THE CITY OF OCOEE, FLORIDA;
APPROVED AS TO FORM AND
LEGALITY this ____ day of
_____, 20__.

FISHBACK DOMINICK

By: _____
Richard Geller, City Attorney



City of Ocoee
Business Impact Estimate

Proposed ordinance's title/reference:

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, this means the City is of the view that a business impact estimate is not required by state law¹ for the proposed ordinance, but the City is, nevertheless, providing this Business Impact Estimate as a courtesy and to avoid any procedural issues that could impact the enactment of the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

In accordance with the provisions of controlling law, even notwithstanding the fact that an exemption noted above may apply, the City hereby publishes the following information:

¹ See Section 166.041(4)(c), Florida Statutes.

1. Summary of the proposed ordinance (must include a statement of the public purpose, such as serving the public health, safety, morals and welfare):

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the City of Ocoee, if any:

(a) An estimate of direct compliance costs that businesses may reasonably incur;

(b) Any new charge or fee imposed by the proposed ordinance or for which businesses will be financially responsible; and

(c) An estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs.

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

4. Additional information the governing body deems useful (if any):



CITY OF OCOEE
NOTICE OF PUBLIC HEARING TO CONSIDER A
LAND DEVELOPMENT CODE TEXT AMENDMENT

NOTICE IS HEREBY GIVEN that the City of Ocoee Planning & Zoning Commission, acting as the LOCAL PLANNING AGENCY, will consider a text amendment to Article IV of the Ocoee Land Development Code (LDC) to create Section 4-13, to establish regulations and procedures for Certified Recovery Residences.

The **LOCAL PLANNING AGENCY** will hold a public hearing on the proposed Land Development Code Text Amendment on **TUESDAY, JUNE 9, 2026, AT 6:15 P.M.** or as soon thereafter as practical. The **PUBLIC HEARING** will be held at the City of Ocoee Commission Chambers located at 1 North Bluford Avenue, Ocoee, Florida.

AN ORDINANCE OF THE CITY OF OCOEE, FLORIDA, AMENDING ARTICLE IV, OF THE OCOEE LAND DEVELOPMENT CODE TO CREATE SECTION 4-13 TO ESTABLISH REGULATIONS AND PROCEDURES FOR CERTIFIED RECOVERY RESIDENCES, INCLUDING A PROCESS FOR REQUESTING REASONABLE ACCOMMODATION AS REQUIRED BY CHAPTER 2025-182, LAWS OF FLORIDA; PROVIDING FOR DEFINITIONS; PROVIDING FOR A REASONABLE ACCOMMODATION PROCESS IN ACCORDANCE WITH FEDERAL AND STATE LAW; PROVIDING FOR APPLICATION REQUIREMENTS, REVIEW PROCEDURES, AND DEADLINES; PROVIDING FOR REVOCATION AND REINSTATEMENT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Interested parties may appear at the public hearing and be heard with respect to the proposed action. The complete case file may be inspected at the Ocoee Development Services Department, located at 1 North Bluford Avenue, Ocoee, Florida, between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday, except for legal holidays. The Planning and Zoning Commission may continue the public hearing to other dates and times as it deems necessary. Any interested party shall be advised that the dates, times, and places of any continuation of these or continued public hearings shall be announced during the hearings and that no further notices regarding these matters will be published. You are advised that any person who desires to appeal any decision made during the public hearings will need a record of the proceedings and, for this purpose, may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. Persons with disabilities needing assistance to participate in any of the proceedings should contact the City Clerk's Office 48 hours in advance of the meeting at (407) 905-3105.

Melanie Sibbitt,
City Clerk

Publish Date: May
28, 2026 Page 47 of 55

Planning and Zoning Commission

Impervious & Open Space WORKSHOP

June 9, 2026












June 2026 Development Services New Development Update

The following information is respectfully submitted to the Honorable Mayor and City Commission to provide general information about public and private development in the City of Ocoee. Please feel free to contact Assistant City Manager Michael Rumer at 407-905-3112 for additional information or questions.


NEW DEVELOPMENT			
Project Name & General Location	Project Description	Status	Commission Meeting
District 1 - Scott R. Kennedy			
WALMART NEIGHBORHOOD MARKET (OCOEE VILLAGE CENTER NEW GROCERY AND FUEL STATION) Sage #2026-0014 N Lakewood Ave 7.99 acres District 1	Sign Variance	Under 1 st Review	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
District 2 – Rosemary Wilsen			
HEALTH CENTRAL HOSPITAL Sage #2026-0051 10000 W. Colonial Drive 90.07 acres District 2	Plat – Platting 1 parcel to 3 resulting parcels	1 st review comment sent on June 2, 2026	Not Required
District 3 – Richard Firstner			
OCOEE COMMERCE PARK Sage #2025-0018 Parcel # 07-22-28-0000-00-064) Parcel # 07-22-28-0000-00-022 Parcel # 07-22-28-0000-00-028 Parcel # 07-22-28-0000-00-092 Parcel # 07-22-28-0000-00-021 Parcel # 07-22-28-0000-00-063 22.34 acres District 3	annexation, rezoning to Planned Unit Development (PUD)	Under 1 st review	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
District 4 – George Oliver			

UNDER CONSTRUCTION			
Project Name & General Location	Project Description	Status	Commission Meeting
District 1 - Scott R. Kennedy			

MAGNOLIA RESERVE TOWNHOMES Sage #2022-0057 2199 West Road 5.08 acres District 1	Large-Scale Final Subdivision Plan Proposing Townhome Subdivision with a minimum living area of 1,500 SF	Under Construction  24 of 48 (50%) Townhomes have received CO	City Commission Consent Item August 15, 2023
OCOEE CROWN POINT MIXED-USE DEVELOPMENT Sage #2022-0050 2012 Ocoee Apopka Road 16.19 acres District 1	Large-Scale Final Site Plan for mixed-use consisting of Multifamily and Retail	Under Construction  80% complete for buildings and sitework Phase 1 received CO on 12/23/2025	City Commission Consent Item March 7, 2023
District 2 – Rosemary Wilsen			
AQUASONIC CAR WASH Sage #2025-0052 & 2024-0034 Clarke Road Parcel # 21-22-28-6328-00-070 1.11 acres District 2	Small-Scale Site Plan, 4,400 SF Car Wash	Under Construction  Building and sitework at 30% completion Under revision review	Not Required
District 3 – Richard Firstner			
FLOORING AMERICA STORAGE BUILDING Sage #2023-0034 10897 West Colonial Dr. 2.95 acres District 3	Small-Scale Site Plan for a 13,700 SF Warehouse Building	Under Construction  Building and sitework at 10% completion	Not Required
THE REGENCY Sage #2023-0015 1601 Maguire Road 16.68 acres District 3	Large-Scale Final Site Plan for 300 Multifamily units and 7000 SF of Retail	Under Construction  Sitework and Buildings at 50% completion The developer is using Private Providers	City Commission Regular Agenda Item June 6, 2023
District 4 – George Oliver			
RESERVE AT LAKE MEADOWS Sage #2021-0043 2149 Lauren Beth Avenue 18.58 acres District 4	A Large-Scale Final Subdivision plan for 46 single-family homes	Under Construction  Only the model is completed 4 of 46 (8.7%) single-family homes have received CO	City Commission Consent Item June 6, 2023
WYNWOOD PHASE 3 & 4 FKA CLRM Sage #2023-0024 56.63 acres Phase 1 & 2 Completed District 4	Large-Scale Preliminary/Final Subdivision Plan to construct 187 single-family residential lots	Under Construction  121 of 186 (65%) single-family homes have received CO	City Commission Consent Item February 20, 2024

CURRENT DEVELOPMENT REVIEW

Project Name & General Location	Project Description	Status	Commission Meeting
District 1 - Scott R. Kennedy			
HOLIDAY INN EXPRESS Sage #2025-0051 West Road 3.71 acres District 1	Special Exception to the existing Commercial PUD to allow Hotel use	Under Review	Planning & Zoning Commission Public Hearing March 10, 2026 City Commission Public Hearing TO BE SCHEDULED
OCOEE VILLAGE CENTER NW PARCEL 1 Sage #2024-0046 N Lakewood Ave 3.97 acres District 1	Large-Scale Preliminary Final Site Plan for three (3) Retail Buildings, with a total of 26,570 SF	2 nd review comments sent on April 15, 2026. Pending resubmittal.	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
WALMART NEIGHBORHOOD MARKET (OCOEE VILLAGE CENTER NEW GROCERY AND FUEL STATION) Sage #2026-0014 N Lakewood Ave 7.99 acres District 1	Sign Variance	Under 1 st Review	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
District 2 – Rosemary Wilsen			
HEALTH CENTRAL HOSPITAL Sage #2026-0051 10000 W. Colonial Drive 90.07 acres District 2	Plat – Platting 1 parcel to 3 resulting parcels	NEW PROJECT 1 st review comment sent on June 2, 2026	Not Required
OCOEE PICKLEBALL Sage #2026-0004 1100, 1050, 1000 Jacob Nathan Blvd. 6.08 acres District 2	Large Scale Final Site Plan for a Pickleball Complex with 26 Courts	Under 4 th Review	City Commission Tentatively scheduled for June 2, 2026, Consent agenda
ORLANDO HEALTH REHAB PARKING LOT EXPANSION Sage #2025-0046 1300 Hempel Avenue District 2	Small-Scale Site Plan to construct 25 new paved parking spaces, a paved driveway, and associated stormwater collection and conveyance	1 st review comments sent on January 27, 2026. Pending Resubmittal.	Not Required
WALMART #942 DRONE PROJECT Sage #2025-0048 10500 W Colonial Dr 21.73 acres District 2	Small-Scale Site Plan to install a drone nest to house and support drone operations, and an auto loader system for automated merchandise loading and delivery	Approved for construction on February 25, 2026. Pre-Construction Meeting held on April 1, 2026.	Not Required

WEST ORANGE MEDICAL Sage # 2025-0016 3442 Old Winter Garden Road 3462 Old Winter Garden Road Parcel # 29-22-28-0000-00-028 Parcel # 29-22-28-0000-00-036 1.21 acres combined District 2	Platting for an 11,800 SF Medical Office	Approved for recording Pending document for the applicant to be processed with the recording of the Plat	Not Required
District 3 – Richard Firstner			
720 N LAKEWOOD AVE – FLORES PROPERTY Sage #2025-0026 720 N Lakewood Avenue 7.51 acres District 3	Lot split to separate 1 lot into 3	Under 3 rd Review	Not Required
BEAT THE STREETS Sage #2026-0011 606 Ocoee Apopka Road & 789 Pine Street Parcel # 18-22-28-0000-00-003 & 18-22-28-0000-00-001 7.76 acres District 3	Large-scale final site plan for a one-story building with a 31,640-square-foot footprint on 7.7 acres. The facility is proposed to serve as a bus operations center known as Beat the Streets	1 st Review Comments sent on May 27, 2026	City Commission Consent Item TO BE SCHEDULED
CAMBRIA SUITES AT OCOEE Sage #2024-0021 924 Maguire Road 2.61 acres District 3	Large-Scale Final Site Plan for a six-story, 118-room Hotel	Approved for Construction on September 19, 2025 Pending Pre-Construction Meeting	City Commission Consent item September 16, 2026
DAKA PLAZA Sage #2023-0042 1550 Maguire Rd. 1.00 acres District 3	Small-Scale Site Plan proposing a 9,774 SF retail plaza with a drive-through	Under 5 th review	Not Required
ELLIANOS COFFEE SHOP Sage #2025-0041 250 Moore Road 0.46 acres District 3	Small-Scale Site Plan for an 864 SF Coffee Shop	Approved for Construction on April 20, 2026 Pre-Construction Meeting held on May 4, 2026	Not Required
INSPIRATION PUD LAND USE PLAN Sage #2026-0013 Excellence Circle 16.85 acres District 3	Amendment to the PUD and Land Use Plan	Under review	City Commission TO BE SCHEDULED
LAKE LILLY POINT PROFESSIONAL CENTER Sage #2025-0018 Old Winter Garden Road 4.17 acres District 3	Small-Scale Site Plan for 14,174 SF Professional/Medical Office Building	2 nd review Comments sent on December 29, 2025. Pending Resubmittal.	Not Required
MAGUIRE PLAZA Sage #2025-0029 41, 51, & 96 Maguire Rd 3.64 acres District 3	Large-Scale site Plan to construct three (3) buildings consisting of office, warehouse, and retail.	Approved for Construction on March 11, 2026. Pre-Construction Meeting held on May 26, 2026	City Commission Consent Item May 5, 2026
O2B KIDS Sage #2022-0023 880 Bluford Avenue 2.48 acres combined District 3	Small-Scale Site Plan for a 10,970 SF Day Care Facility and a 6,000 SF Medical Office Building	Under Construction 	Not Required

		Building and sitework at 85% completion	
OCOEE COMMERCE PARK Sage #2025-0018 Parcel # 07-22-28-0000-00-064) Parcel # 07-22-28-0000-00-022 Parcel # 07-22-28-0000-00-028 Parcel # 07-22-28-0000-00-092 Parcel # 07-22-28-0000-00-021 Parcel # 07-22-28-0000-00-063 22.34 acres District 3	annexation, rezoning to Planned Unit Development (PUD)	NEW PROJECT Under 1 st review	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
OCOEE CORNERS RETAIL Sage #2025-0039 1535 Maguire Rd. 4.50 acres District 3	Small-Scale Site Plan for the construction of infrastructure, parking, sanitary, and water stub-outs for future buildings.	Approved for Construction on May 27, 2026. Pre-Construction meeting scheduled for June 16, 2026	Not Required
OCOEE MULTI-USE APARTMENTS Sage #2026-0012 15, 121, 201, & 209 S. Kissimmee Ave. & 214 Mckey Street 3.39 acres District 3	Preliminary Site Plan for a proposed three-story, 35,760-square-foot mixed-use building on 3.39 acres. The building is planned to include 14 commercial units and 53 residential units.	1 st Review comments sent on May 28, 2026. Pending Resubmittal	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
OCOEE REGIONAL SPORTS COMPLEX Sage #2025-0008 Parcel # 07-22-28-0000-00-001 Parcel # 07-22-28-0000-00-023 Parcel # 07-22-28-0000-00-039 Parcel # 07-22-28-0000-00-041 Parcel # 07-22-28-0000-00-043 Parcel # 07-22-28-0000-00-105 Parcel # 07-22-28-0000-00-074 Parcel # 07-22-28-0000-00-060 Parcel # 07-22-28-0000-00-057 150.9 acres combined District 3	Large-scale preliminary Site Plan on about 150 acres, for a multi-use regional sports and entertainment complex, containing multipurpose fields, retail, restaurants, hotel, offices, and other uses.	1 st Review comments sent on April 18, 2025. Pending Resubmittal	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
PALM DRIVE RE-ALIGNMENT Sage #2025-0040 Ocoee Apopka Rd 0.77 acres District 3	Re-alignment of Palm Drive	Approved for Construction on June 1, 2026. Pending pre-construction meeting.	Not Required
District 4 – George Oliver			
GARDENIA POINTE Sage #2025-0009 Clarke Road/ A. D. Mims Road 37.37 acres District 4	Large-Scale Preliminary Subdivision Plan	Under 2 nd Review	Planning & Zoning Commission Public Hearing TO BE SCHEDULED City Commission Public Hearing TO BE SCHEDULED
MARKET STORE AT PRAIRIE LAKE Sage #2024-0050 Ocoee Vista Pkwy 2.00 acres District 4	Small-Scale Site Plan to construct a convenience store with a gas station and car wash with a total project area of 87,206 SF	Under 3 rd Review	Not Required

SHOPPES ON THE BLUFF 2024-0045 9251 Clarcona Ocoee Road Parcel # 33-21-28-0000-00-023 Parcel # 04-22-28-0000-00-012 4.29 acres District 4	Small-Scale Site Plan to construct two retail buildings totaling 23,052 square feet	Approved for Construction on March 12, 2026 Pending Pre-Construction Meeting	Not Required
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OLDER THAN SIX (6) MONTHS

Project Name & general Location	Project Description	Status	Commission Meeting
District 1 - Scott R. Kennedy			
THE FALLS AT WINTER LAKE FKA MIXED-USE @ FULLERS CROSS RD & OCOEE APOPKA RD Sage #2022-0006 Fullers Cross Road 17.96 acres	Large-Scale Preliminary Site Plan for mixed-use consisting of Apartments and Commercial	2 nd Review comments sent on June 14, 2024. Pending Resubmittal.	Planning & Zoning Commission Public Hearing July 12, 2022 City Commission Public Hearing TO BE SCHEDULED
SPRING HILL SHOPPING PLAZA Sage #2025-0025 1500 Wurst Rd Parcel # 09-22-28-8242-02-140 0.63 acres District 1	Small-Scale Site Plan for the expansion of the existing building	Pre-Application meeting held on July 22, 2025. Pending Resubmittal	Not Required
District 2 – Rosemary Wilsen			
750 S. BLUFORD AVE. Sage #2025-0017 750 S. Bluford Ave. District 2	Small-Scale Site Plan for an existing building for Site Improvements to the parking lot	1 st Review comments sent on August 4, 2025. Pending Resubmittal	Not Required
CITY CENTER WEST ORANGE, PARCEL 1, PHASE IV, LOT 4A 251 Maine Street 1.26 acres District 2	Small-Scale Site Plan, two-story 20,000 SF office/retail building	2 nd Review Comments sent on June 18, 2019. Awaiting resubmittal for 3 rd Review	Not Required
O'REILLY'S OCOEE Sage #2024-0039 1891 E. Silver Star Road 5.06 acres District 2	Small-Scale Site Plan for a 7,246 SF O'Reilly Auto Parts store	Approved for Construction on May 13, 2025. Pre-Construction Meeting was held on July 1, 2025.	Not Required
VALIANT REALTY GROUP Sage #2024-0051 112 S. Bluford Ave. .24 acres District 2	Small-Scale Site Plan for a 7,843 SF Office Building	1 st review comments sent on July 10, 2025. Pending Resubmittal.	Not Required
WEST ORANGE MEDICAL Sage # 2023-0006 3442 Old Winter Garden Road 3462 Old Winter Garden Road Parcel # 29-22-28-0000-00-028 Parcel # 29-22-28-0000-00-036 1.21 acres combined District 2	Small Scale Site Plan for an 11,800 SF Medical Office	Approved for Construction on August 8, 2023. Revision Review approved on January 21, 2025. Pre-Construction Meeting held on April 16, 2024.	Not Required

WEST ORANGE SURGERY CENTER Sage #2022-0005 3422 Old Winter Garden Road Parcel # 29-22-28-0000-00-030 1.26 acres combined District 2	Small-Scale Site Plan for an 11,500 SF Surgery Center	Approved for Construction on January 31, 2023. Pending Pre-Construction Meeting	Not Required
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District 3 – Richard Firstner

429 BUSINESS CENTER PHASE II WEST Sage #2022-0055 510 Corporate Park Road 5.90 acres District 3	Large-scale Final Site Plan for a one-story building consisting of 70,720 SF	Received CO for sitework and buildings on 12/17/25	City Commission Consent Agenda December 5, 2023.
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429 BUSINESS CENTER PHASE II EAST Sage #2022-0054 448 Corporate Park Road 11.21 acres District 3	Large-Scale Final Site Plan for three (3) one-story buildings totaling 126,402 SF	Received CO for sitework and buildings on 12/17/25	City Commission Consent Item December 5, 2023.
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911 MARSHALL FARMS – SURUJLALL PROPERTY Sage #2025-0022 911 Marshall Farms Rd 2.22 acres District 3	Small-Scale Site plan for an Auto repair shop with office space	1 st Review comments sent on October 21, 2025. Pending resubmittal.	Not Required
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OCOOE VILLAGE Sage #2022-0020 Franklin Street Parcel # 18-22-28-0000-00-025 5.77 acres District 3	Large-Scale Final Site Plan, for two (2) two-story Buildings with 72,712 SF for Office/Retail.	Revision review comments sent on 04/01/2024. The site has had three (3) pre-application meetings since the last round of comments on different site-concept plans	City Commission Consent item TO BE SCHEDULED
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YARD TRASH RECYCLING FACILITY Sage #2024-0049 1601 Maguire Road Parcel # 07-22-28-0000-00-021 9.91 acres District 3	Small-Scale Site Plan	Approved for Construction on October 30, 2025. Pending Pre-Construction Meeting	Not Required
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District 4 – George Oliver