

OCOEE PLANNING AND ZONING COMMISSION

Ocoee Commission Chambers
1 N. Bluford Avenue
Ocoee, Florida

August 8, 2023

AGENDA

6:30 PM

REGULAR PLANNING AND ZONING COMMISSION MEETING

- **CALL TO ORDER**

Invocation

Pledge of Allegiance

Roll Call and Determination of Quorum

- **CONSENT**

1. Approval of Minutes from the Planning & Zoning Meeting held July 11, 2023

- **OLD BUSINESS**

- **NEW BUSINESS**

1. Howard Meadows Large Scale Preliminary Subdivision Plan (PSP) LS-2023-016. **(Zoning Manager Whitfield)**

- **MISCELLANEOUS**

1. Comprehensive Planning 101. **(Zoning Manager Whitfield)**
2. Project Status Report

- **ADJOURNMENT**

Notice: Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made which includes testimony and evidence upon which the appeal is based. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office 48 hours in advance of the meeting.

MORE THAN ONE COMMISSIONER MAY PARTICIPATE OR HEAR DISCUSSIONS REGARDING A MATTER WHICH WILL COME BEFORE THE COMMISSION FOR ACTION.

**MINUTES
CITY OF OCOEE
PLANNING AND ZONING COMMISSION
(Acting as the Local Planning Agency)
REGULAR MEETING**

JULY 11, 2023

6:30 pm

• CALL TO ORDER

Chair Lomneck called the regular session to order at 6:30 PM in the Commission Chambers of City Hall. The invocation was led by **Chair Lomneck**, followed by the Pledge of Allegiance to the Flag. **Recording Clerk Heard** called the roll and declared a quorum present.

Present: Chair Lomneck, Member Crocker, Member Forges, Member Williams, Alternate Member Keller

Absent: None

Also Present: Development Services Director Rumer, Zoning Manager Whitfield, Assistant City Attorney Drage, Recording Clerk Heard

• CONSENT AGENDA

1. Minutes of the Planning and Zoning Commission Meeting held on May 9, 2023.

Motion for Approval of the Consent Agenda: Moved by Member Keller, Seconded by Member Williams; Motion carried unanimously.

• OLD BUSINESS - None

• NEW BUSINESS

1. **Covington Oaks Large Scale Preliminary Subdivision Plan (LS-2023-001). (Zoning Manager Whitfield)**

Zoning Manager Whitfield presented a brief overview of the subject property which is approximately 9.94 acres in size and located at 8667 A.D. Mims Road, District 4. There currently is one single-family residence, and a few scattered surface waters in the northern portion of the property with an existing 20-foot drainage easement at the north property boundary. The applicant is proposing a 17-lot single family detached residential subdivision and 80-foot wide quarter-acre lots. Due to the lack of central sewer, the subdivision will be developed with quarter (1/4) acre lots in order to accommodate private septic systems on each lot. Water will be provided by the City. The proposed PSP will preserve approximately 3.172 acres in the northern portion of the parcel for open space with the stormwater pond around it which will contribute to the 35% open space required. The stormwater pond will be a private pond that will be owned and maintained by the Homeowners Association (HOA).

Zoning Manager Whitfield stated the Development Review Committee (DRC) reviewed this item and made a recommendation of approval subject to the following conditions:

1. Shifting the lots northward by approximately five (5) feet in order to create an open space tract between Lots 1 and 9 and the A. D. Mims Road right-of-way,
2. Revising the 10-Ft Utility and Sidewalk Easement to include "access" to the benefit of the City, and
3. Resolution of outstanding staff comments via a revised Preliminary Subdivision Plan.

She further stated staff recommends approval subject to the conditions recommended by the DRC.

Member Williams inquired whether the Wekiva Study addresses septic tank issues for new development. **Development Services Director Rumer** answered in the affirmative and indicated new septic tanks are required to meet their criteria.

Member Crocker asked if the development will be a gated community and where the trees will be planted. **Zoning Manager Whitfield** answered the development will not be gated and the trees will be planted on the lot side.

Member Keller asked if the streets will be wide enough for fire and parking and whether the open space will be maintained by the Homeowners Association. **Zoning Manager Whitfield** stated the streets are adequate at 12 feet per travel lane, Fire will review the Final Subdivision Plan and make comments if warranted; and further, the open space will be maintained by the HOA.

Applicant was present.

The Public hearing was opened. As no speaker forms were received, the public hearing was closed.

(6:42 pm)

Motion: Move that the Planning and Zoning Commission, acting as the Local Planning Agency, recommend to the Ocoee City Commission Approval of the Covington Oaks Large Scale Preliminary Subdivision Plan, LS-2023-001, subject to conditions recommended by the DRC and resolution of the remaining staff comments before the City Commission meeting; Moved by Member Williams, Seconded by Member Keller; motion carried unanimously.

2. **2121 Lauren Beth Avenue, Flores Property – Annexation & Rezoning from Orange County A-1 to City of Ocoee R-1 (AX-05-23-05 & RZ-23-05-05). (Zoning Manager Whitfield)**

Zoning Manager Whitfield presented a brief overview of the proposed annexation and rezoning which is approximately 0.97 acres, contains one (1) single family dwelling, and is located at 2121 Lauren Beth Avenue. The property is located within the Ocoee-Orange County Joint Planning Area (JPA). The annexation is consistent with the Future Land

Use Element (FLUE). The property owner has requested water service from the City, which will become available upon the completion of the construction of Reserve at Lake Meadow development, which surrounds this parcel. Sewer service is not available at this time.

The Board had no comments or questions.

Applicant was not present.

The Public hearing was opened. As no speaker forms were received, the public hearing was closed.

(6:46 pm)

Motion: Move that the Planning and Zoning Commission, acting as the Local Planning Agency, recommend to the Ocoee City Commission Approval of the Annexation of the Flores Property, 2121 Lauren Beth Avenue (AX-05-23-05), subject to resolution of the remaining staff comments before the City Commission meeting; Moved by Member Keller, Seconded by Member Forges; motion carried unanimously.

(6:47 pm)

Motion: Move that the Planning and Zoning Commission, acting as the Local Planning Agency, recommend to the Ocoee City Commission Approval of the Rezoning from Orange County A-1 to City of Ocoee R-1 of the Flores Property, 2121 Lauren Beth Avenue (RZ-23-05-05), subject to resolution of the remaining staff comments before the City Commission meeting; Moved by Member Williams, Seconded by Member Crocker; motion carried unanimously.

• MISCELLANEOUS

1. Project Status Report

Development Services Director Rumer updated the Board with the following:

- Staff has finished the preliminary LDC update, and an RFP is in the works to hire a planning firm to assist staff with the LDC update.
- Member Crocker asked about the Inspiration and Regency developments.
- City Center is on track to have all plans submitted by January.
- Discussion ensued regarding Member Mellen's resignation.
- The mast arms for the traffic light at Claracona Ocoee Road have been installed.
- Ethics training will be conducted after the new city attorney is hired.

• ADJOURNMENT 6:55 pm

ATTEST:

APPROVED:

Kathy Heard, Recording Clerk

Brad Lomneck, Chair



**CITY OF OCOEE
PLANNING & ZONING COMMISSION**
(Local Planning Agency)

STAFF REPORT

Meeting Date: August 8, 2023
Item #: 1

Contact Name: Anoch Whitfield, Zoning Manager **Department Director:** Michael Rumer
Subject: Howard Meadows Large Scale Preliminary Subdivision Plan (PSP) LS-2023-016. **(Zoning Manager Whitfield)**

BACKGROUND SUMMARY:

Owner/Applicant: Winston Moxey

General Location: The property is located at 8708 A. D. Mims Road, in Commission District 4 - Ages Hart, on the south side of A. D. Mims, beginning approximately 160 feet west of Prairie Lake Boulevard.

Property Size and Parcel ID No.: The property contains approximately 2.25 acres and is assigned parcel ID number 10-22-28-0000-00-133.

Existing Site Conditions: The property is currently vacant with minimal trees and shrubs. The property was recently annexed into the City and rezoned from Orange County A-1 to City R-1AA on January 17, 2023. The table below summarizes the existing conditions of the property.

Current Future Land Use (FLU) Map Designation	Current Zoning	Existing Land Use	Overlays/Unique Features
Low Density Residential	R-1AA	Vacant	N/A

The property is surrounded by the following

Direction	Jurisdiction	JPA FLUM Designation	Zoning	Existing Land Use
North	County (Northwest) & City (Northeast)	Low Density Residential	A-1 & R-1A	Single family residential
South	County	Low Density Residential	County A-1	Single family residential
East	County	Low Density Residential	County A-1	Single family residential
West	County	Low Density Residential	County A-1	Single family residential

Proposed Site Conditions: The table below summarizes the proposed development on the subject property.

Proposed FLUM Designation	Proposed Zoning	Proposed Use	Proposed Development Standards
N/A (Site remains LDR)	N/A (Site remains R-1AA)	Single family homes	Development of each lot will be reviewed on a lot-by-lot basis for consistency with

			the R-1AA zoning standards and Arbor Code.
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Based on the applicant's conversation with the Orange County Health Department, the applicant attests that development of the subdivision at four (4) lots per acre satisfies the Statutory requirement of quarter (1/4) acre lots for purposes of septic separation requirements.

Transportation and Access: The parent tract is accessed by A. D. Mims Road; however, the new lots will be accessed by a new public roadway. The adopted level of service (LOS) standard for A. D. Mims Road, from Sandy Cove/Wurst Road to Apopka Vineland Road, is E, and as of 2020, the operating LOS was C, with a volume over capacity (V/C) ratio of less than 0.5.

Utilities: Water service will be provided by the City; however, sanitary services will be provided via private septic systems. Final engineering of the water service shall be at time of Final Subdivision Plan.

Stormwater: Final engineering and permitting of the stormwater facility will be at time of Final Subdivision Plan.

Schools: With the proposed six (6) dwelling single-family dwelling units, development of the subdivision is considered de minimis per the Interlocal Agreement (ILA) with the Orange County School District.

ISSUE:

Should the Planning and Zoning Commission recommend approval of the proposed Howard Meadows Preliminary Subdivision Plan for a 6-lot residential subdivision located at 8708 A. D. Mims Road, assigned parcel ID number 10-22-28-0000-00-133?

RECOMMENDATIONS:

Development Review Committee Recommendation:

The DRC met on Tuesday, August 1, 2023, to review and consider the proposed 6-lot residential subdivision. The DRC discussed the outstanding staff comments relative to the minimum lot size (at time of final engineering and permitting) needed to accommodate a private septic system on each lot, continuation of the utility easement along all lot fronts, relocation of the water line from within the lots to within the ROW between the sidewalk and roadway, creation of open space tracts between Lots 1 and 6, lot tree selection shall be from the Arbor Code, and the radius of the cul-de-sac. The applicant and engineer concurred with staff comments and will submit revised plans. After discussion, the DRC made a recommendation of approval subject to all outstanding comments being addressed in the revised Preliminary Subdivision Plan.

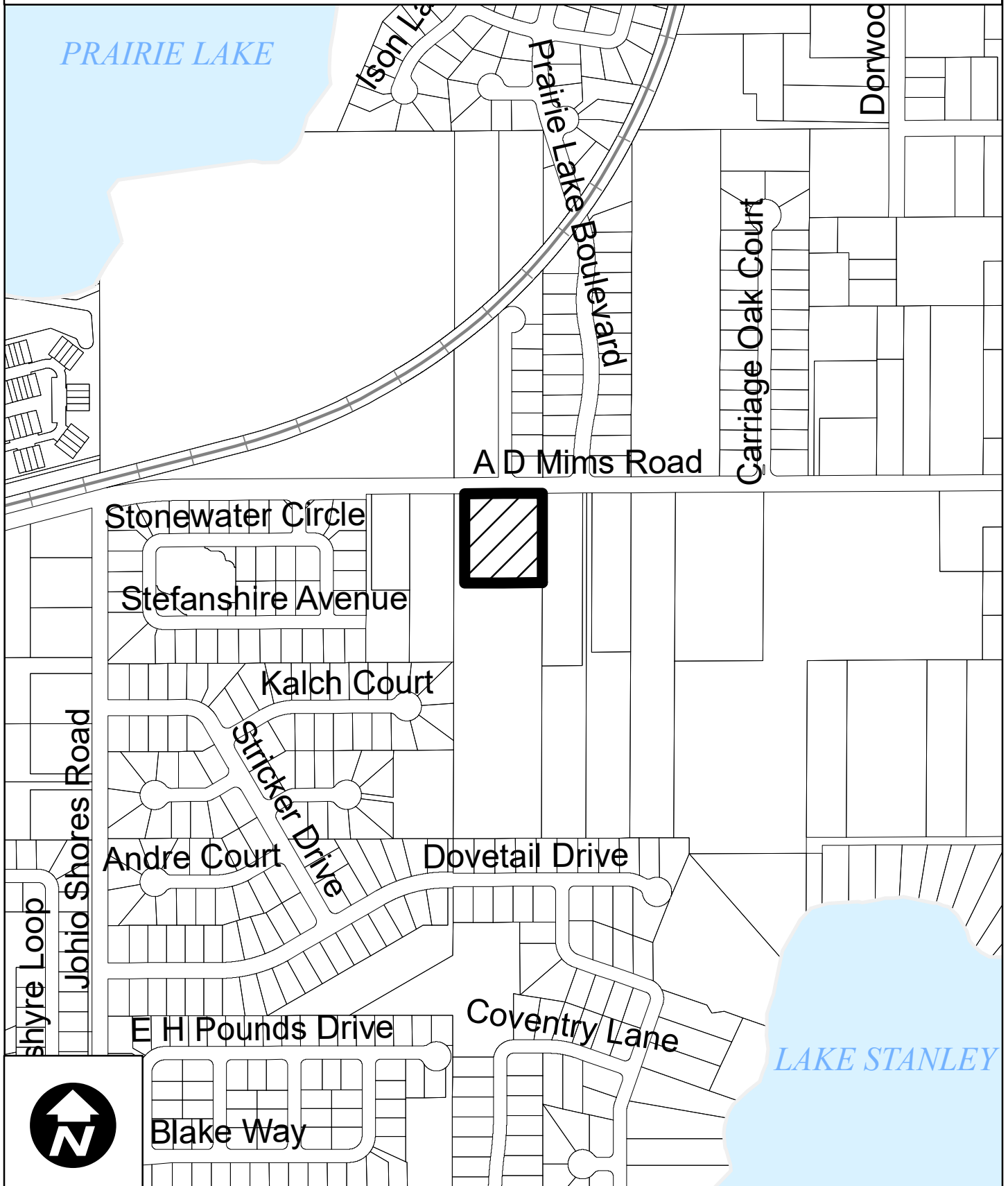
Staff Recommendation:

Staff recommends that the Planning and Zoning Commission make a recommendation of approval of the proposed Howard Meadows Large-Scale Preliminary Subdivision Plan for a 6-lot residential subdivision located at 8708 A. D. Mims Road, assigned parcel ID number 10-22-28-0000-00-133, subject to all outstanding DRC comments being addressed in a revised Preliminary Subdivision Plan.

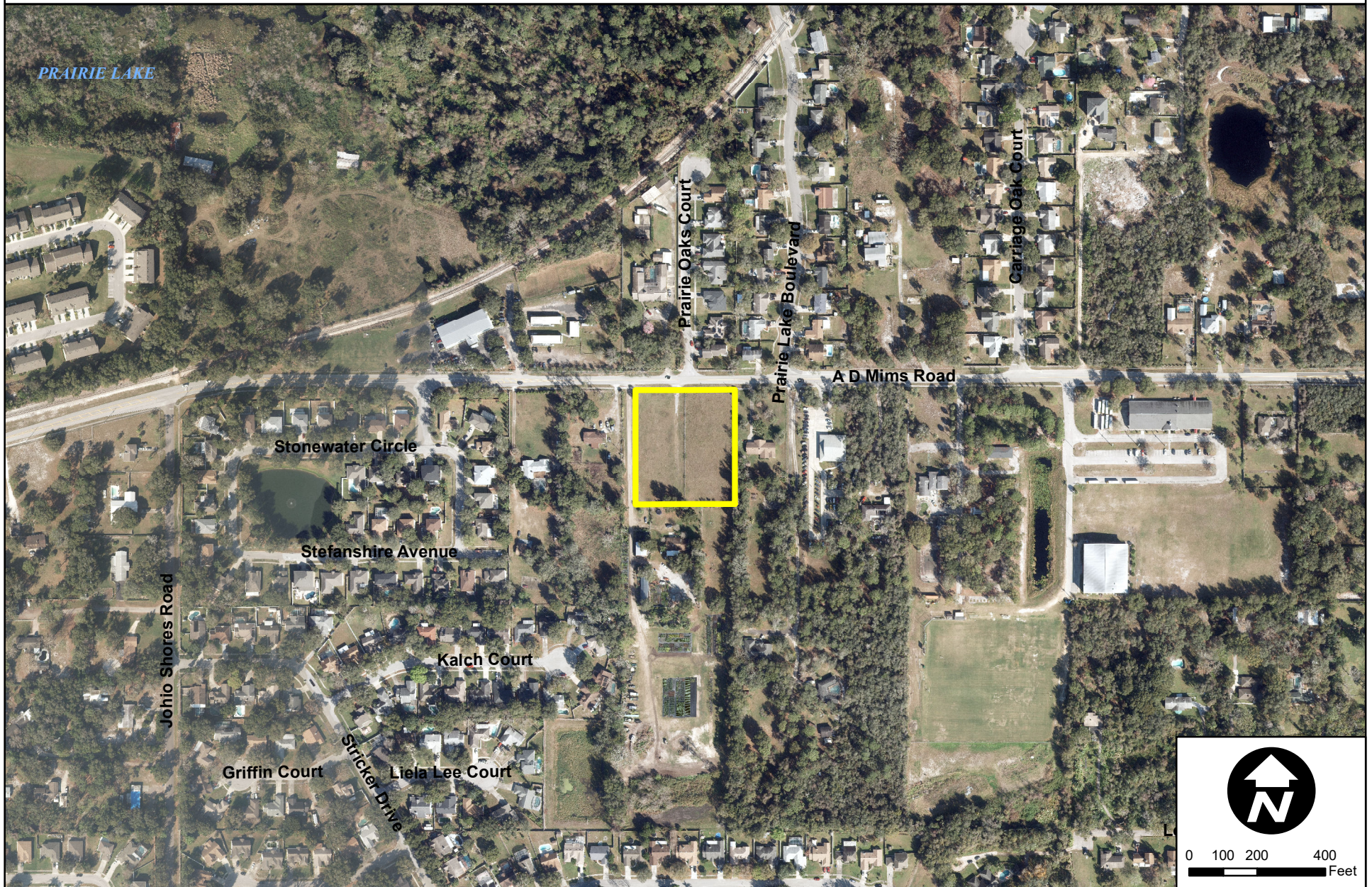
ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Zoning Map
4. FLU Map
5. PSP Plans

Howard Meadows - Preliminary Subdivision Plan Location Map



Howard Meadows - Preliminary Subdivision Plan Aerial Map



Howard Meadows - Preliminary Subdivision Plan Surrounding Zoning Map



Development Services
Department

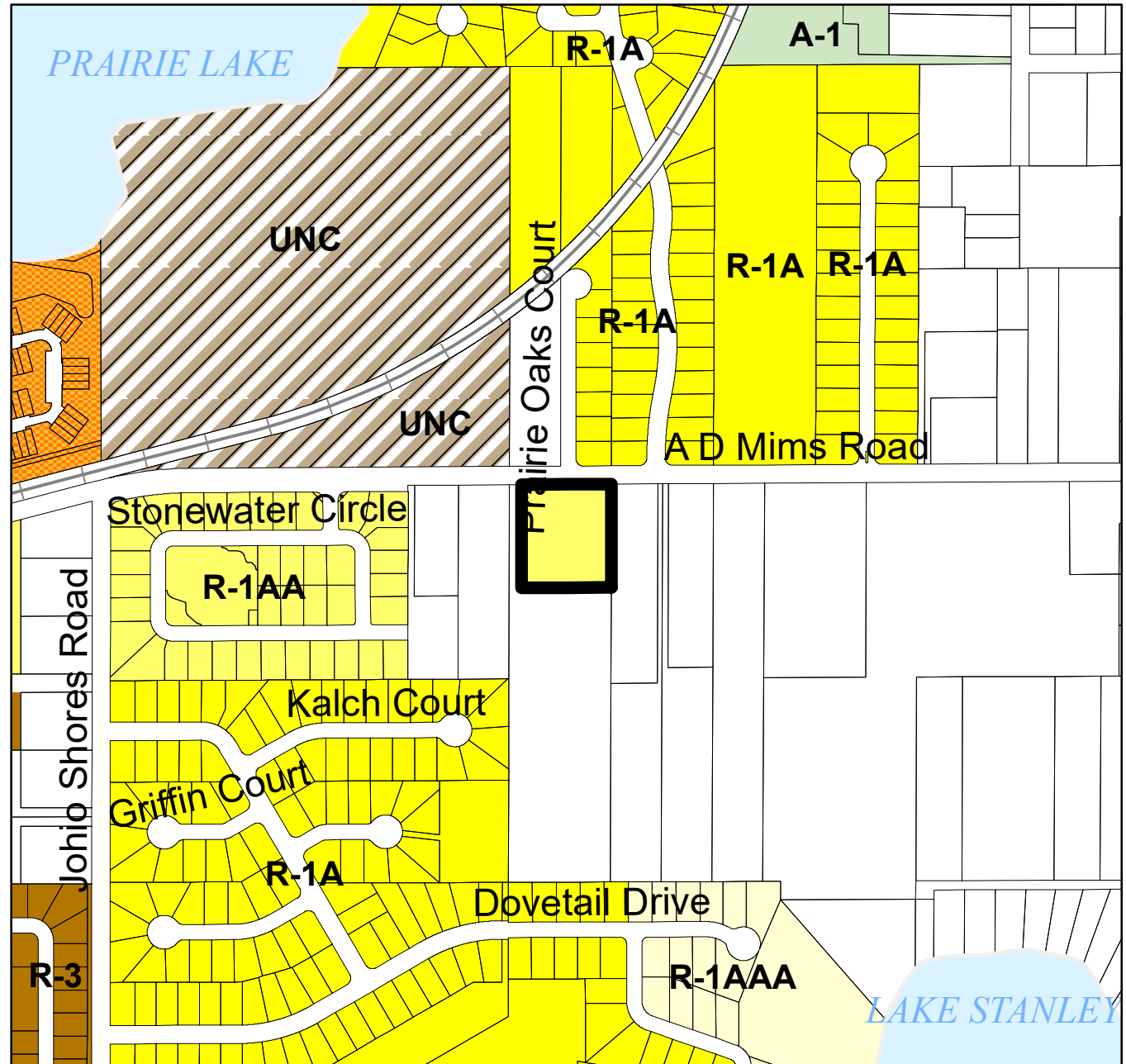
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Feet

Created: July 2023

 Subject Property

Zoning Classification:

-  General Agricultural (A-1)
-  Suburban (A-2)
-  Single-Family Dwelling (R-1AAA)
-  Single-Family Dwelling (R-1AA)
-  Single-Family Dwelling (R-1A)
-  Single-Family Dwelling (R-1)
-  One- & Two-Family Dwelling (R-2)
-  Multiple-Family Dwelling (R-3)
-  Mobile Home Subdivision (RT-1)
-  Professional Offices & Services (P-S)
-  Neighborhood Shopping (C-1)
-  Community Commercial (C-2)
-  General Commercial (C-3)
-  Restricted Manufacturing & Warehousing (I-1)
-  General Industrial (I-2)
-  Commercial (PUD)
-  Low Density (PUD)
-  Medium Density (PUD)
-  High Density (PUD)
-  Public Use (PUD)
-  Unclassified



Howard Meadows - Preliminary Subdivision Plan

Surrounding Future Land Use Map



OCOEE
florida
Development Services
Department

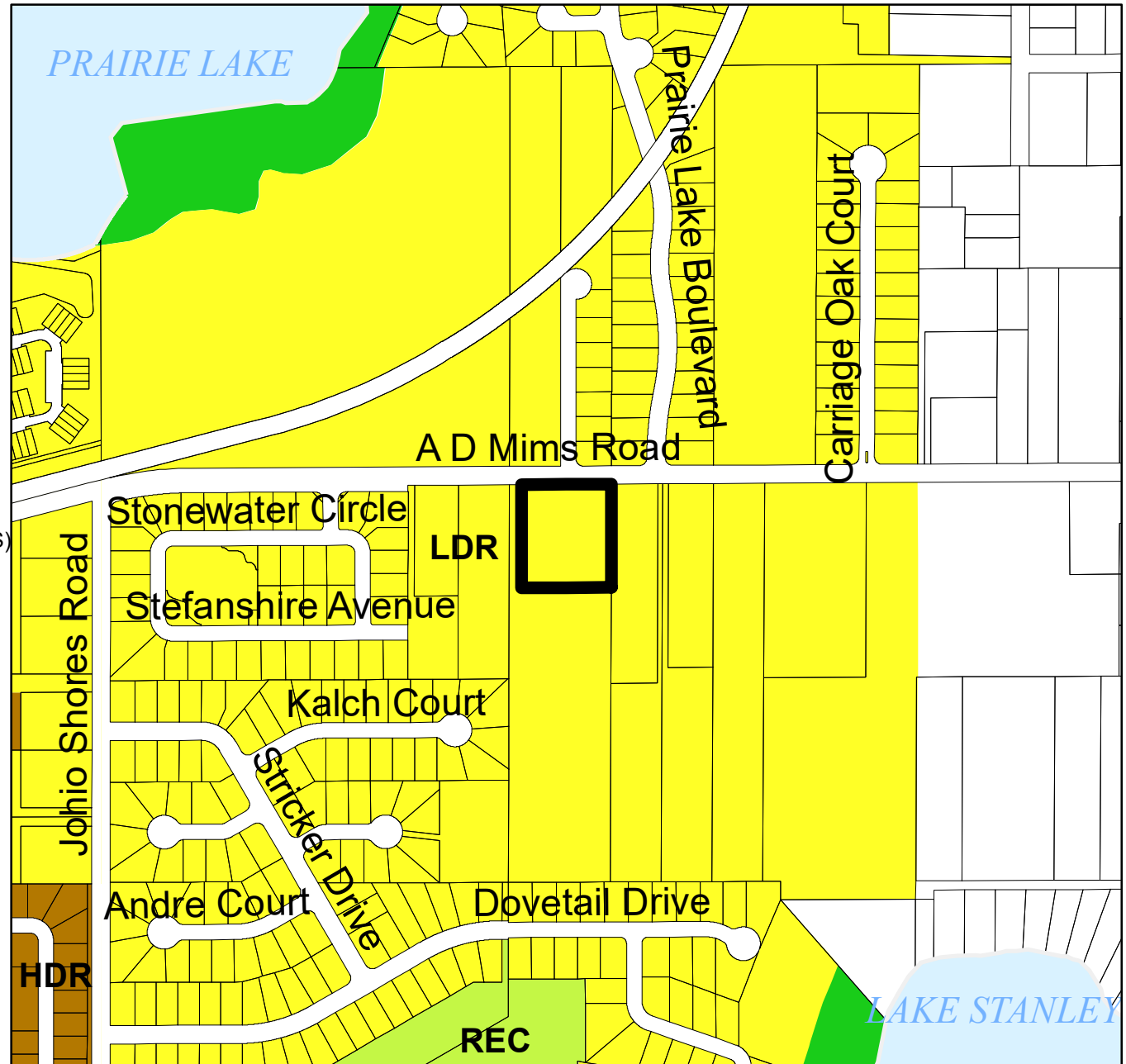
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Feet

Created: July 2023

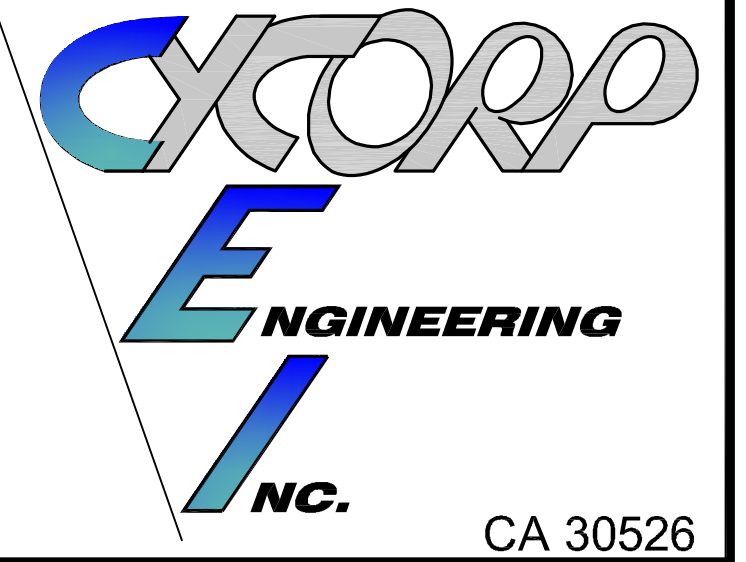
 Subject Property

Future Land Use Classification:

-  Low Density Residential (LDR)
-  Medium Density Residential (MDR)
-  High Density Residential (HDR)
-  Professional Offices and Services (PS)
-  Commercial (COMM)
-  Light Industrial (LI)
-  Heavy Industrial (HI)
-  Conservation/Floodplains (CONS)
-  Recreation and Open Space (REC)
-  Public Facilities/Institutional (INST)



PRELIMINARY SUBDIVISION PLAN
HOWARD MEADOWS

**CIVIL ENGINEERS
LAND PLANNERS**

1614 White Dove Drive
Winter Springs, Florida 32708
Tel: (407) 405-7819

KIM@CYCORPENGINEERS.COM

HOWARD
MEADOWS

PSP

CITY OF OCOEE

[illegible]

COVER SHEET

Date:

APRIL 2023

Scale:

NTS

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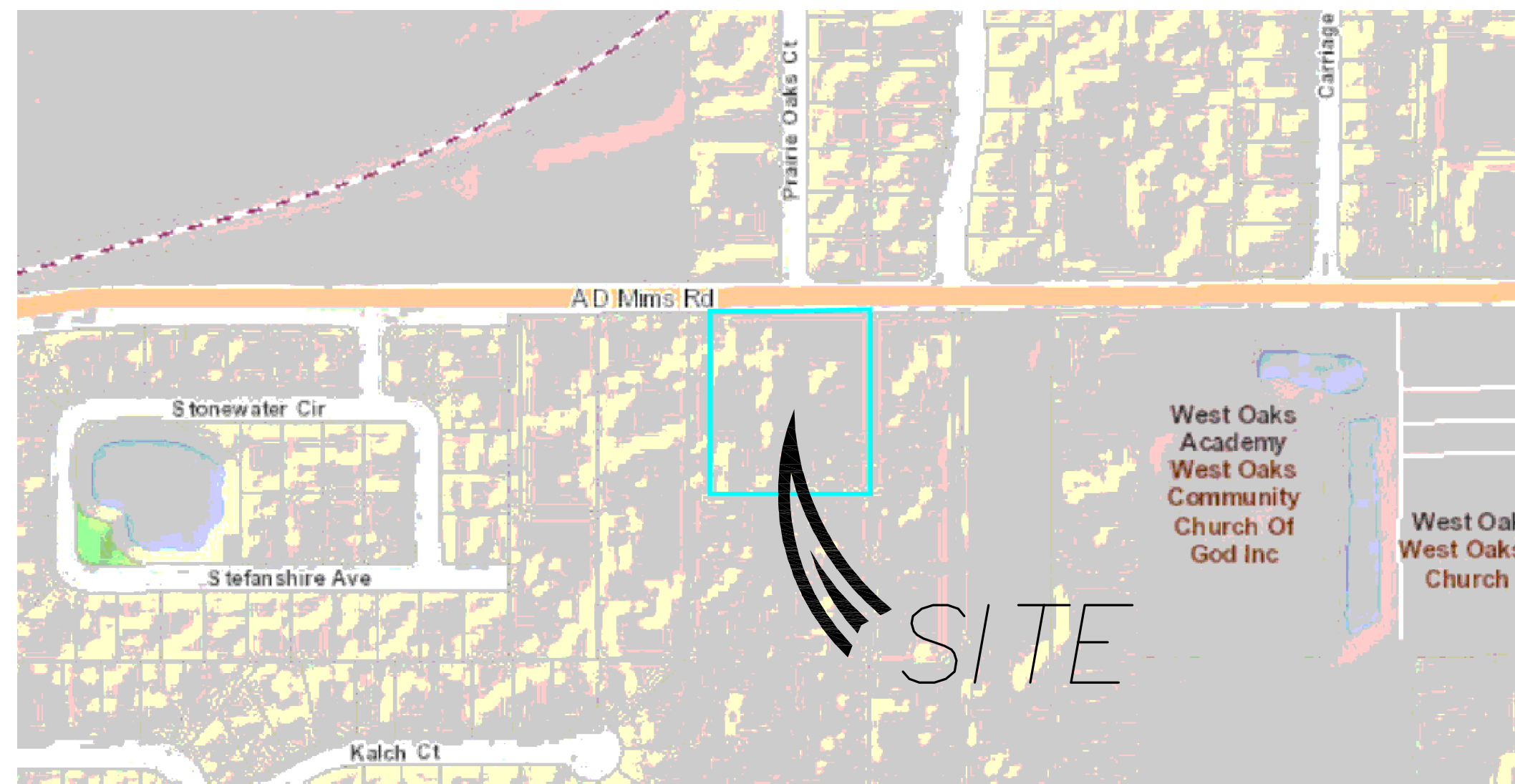
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BY A REGISTERED ENGINEER

1

CITY OF OCOEE



LOCATION MAP: NOT TO SCALE

PARCEL 10-22-28-0000-00-133

SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 DRAINAGE & UTILITY PLAN
- 4 LANDSCAPING PLAN
- S BOUNDARY TOPO SURVEY

PROJECT CONTACTS

OWNER:

WINSTON BOWERBANK MOXEY

1026 HOME GROVE DRIVE
WINTER GARDEN, FL 34787-6528

BOWERBANK@CFL.RR.COM

CIVIL ENGINEER/ LANDSCAPE ARCHITECT:

CYCROP ENGINEERING, INC.
KIM FISCHER
1614 WHITE DOVE DRIVE
WINTER SPRINGS, FL 32708
KIM@CYCROPENGINEERS.COM
PH (407) 405-7819

SURVEYOR

ACCURIGHT
TERRANCE RUTTER, JR, PSM 7371
2012 E ROBINSON STREET
ORLANDO, FL 32803
GERI@ACCURIGHTSURVEYS.NET
407-894-6314

UTILITY CONTACTS

WATER:

CITY OF OCOEE
1800 A.D. MIMS RD
OCOEE, FL 34761-4001
407-905-3100

SEWER

SEPTIC

CABLE

BRIGHT HOUSE NETWORKS
47-532-8509

ELECTRIC

DUKE ENERGY
407-905-3321

NOTE: DO NOT SCALE FROM DRAWINGS. CONTACT CYCORP ENGINEERING IF ADDITIONAL INFORMATION IS REQUIRED.
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APRIL 2023

LEGAL DESCRIPTION:
SEE SURVEY



1614 White Dove Drive
Winter Springs, Florida 32708
Tel: (407) 405-7819

HOWARD
MEADOWS

PSP

CITY OF OCOEE

[illegible]

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Sheet Number:

TRACT	SIZE	DESCRIPTION	OWNERSHIP/MAINTENANCE
TRACT A	0.42 ACRES	ROW	CITY OF OCOEE
TRACT B	0.37 ACRES	POND	HOA

SITE DATA

TOTAL AREA = 2.25 ACRES
WETLANDS = 0 ACRES
TOTAL BUILDABLE = 2.25 ACRES
PROPOSED DEVELOPMENT = SINGLE FAMILY RESIDENTIAL
PARCEL ID = 10-22-28-0000-00-133

CURRENT ZONING = R-1AA
CURRENT FLU = LDR
MINIMUM LOT WIDTH = 35 FT
MINIMUM LOT DEPTH = 120 FT
PROPOSED LOTS = 6 LOTS
PROPOSED DENSITY = 2.7 UNITS / ACRE
MINIMUM LOT AREA = 9,000 SF
LOT SIDE SETBACKS = 7.5 FT
LOT FRONT SETBACK = 25 FT
LOT REAR SETBACK = 25 FT
STREET SIDE SETBACK = 25 FT
MAX BLDG HEIGHT = 35 FT (2 STORIES)

SITE NOTES

1. PROJECT IS WITHIN THE JURISDICTION OF CITY OF OCCEE
2. PROJECT WILL COMPLY WITH THE CITY OF OCCEE LAND DEVELOPMENT CODE
3. THE STORMWATER MANAGEMENT SYSTEM WILL COMPLY WITH THE CITY OF OCCEE LDC AND SJRWMD
4. POTABLE WATER WILL COMPLY WITH THE CITY OF OCCEE
5. FIRE PROTECTION WILL COMPLY WITH THE CITY OF OCCEE
6. ROADS WILL BE PUBLIC
7. THE SITE IS LOCATED IN "X" ZONE.
8. REFER TO THE CITY OF OCCEE ENGINEERING STANDARDS MANUAL, LAND DEVELOPMENT CODE, AND CITY DETAILS. NOTE THAT THE MOST STRINGENT STANDARDS BETWEEN THE CITY STANDARDS AND THE STANDARDS SET FORTH IN THE GENERAL SPEC (AS DETERMINED BY THE ENGINEER/OF RECORD OR THE CITY) SHOULD BE FOLLOWED.
9. AS-BUILTS NEED TO BE SUBMITTED TO THE CITY SIGNED AND SEALED IN ACCORDANCE WITH SECTION 3.01.05 OF THE ENGINEERING STANDARDS MANUAL. THE CITY REQUIRES ONE PDF COPY AND ONE CADD COPY DRAWN IN STATE PLANE

ITE	UNITS	ADT	PEAK HOUR	PM IN	PM OUT
210	6	58	6	4	2

TRAFFIC IMPACTS

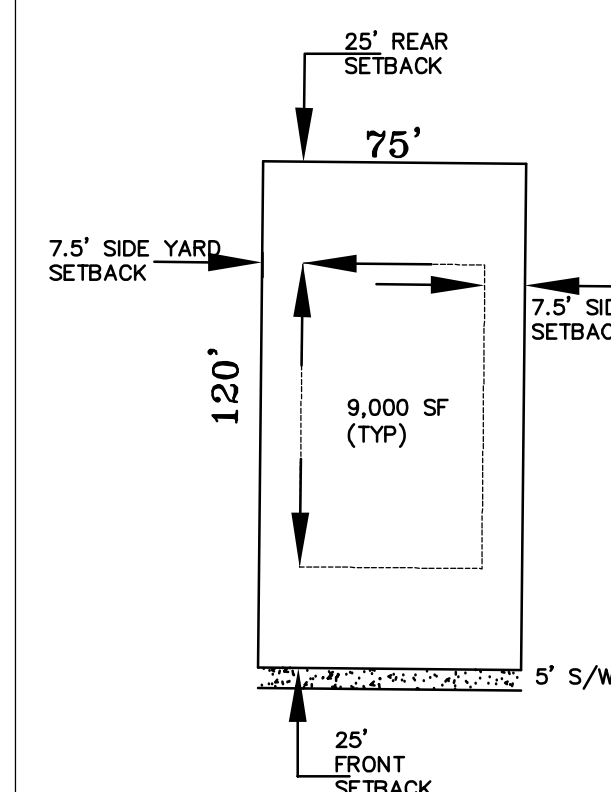
AGE	UNITS	RATE	CHILDREN
ELEMENTARY	6	0.249	2
MIDDLE	6	0.114	1
HIGH	6	0.124	1
TOTAL			4

SITE LEGEND

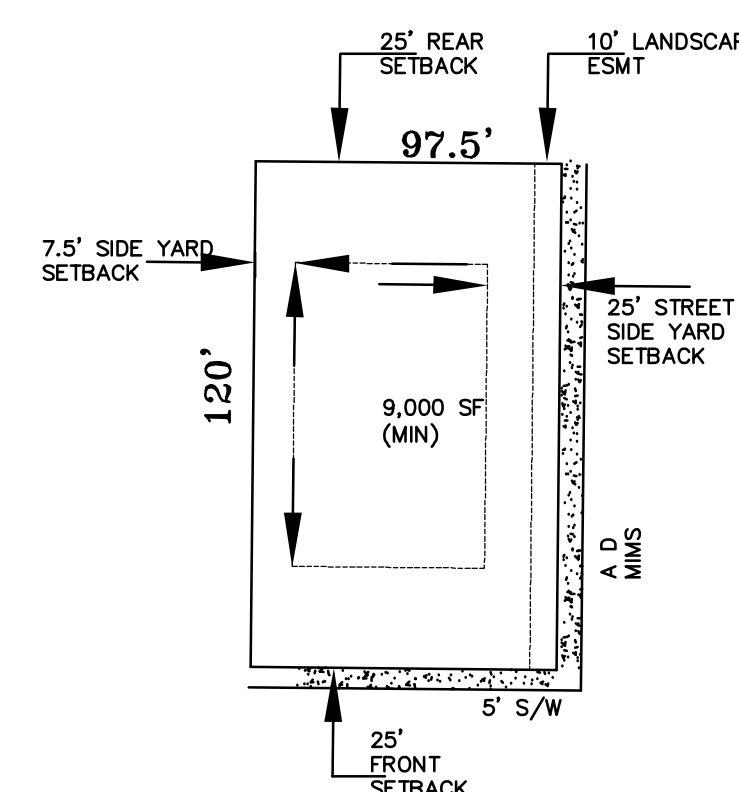
	PROPOSED DRAINAGE INLET
	PROPOSED CURB
	SITE BOUNDARY LINE
	EXISTING EDGE OF PAVEMENT
	DRAINAGE PIPE
	PROPOSED EASEMENT
	SANITARY MAIN
	WATER MAIN
	RECLAIM WATER
	SANITARY MANHOLE
	PROPOSED CONCRETE PAVEMENT
TYP	TYPICAL
S/W	SIDEWALK
R5'	5' RADIUS
LF	LINEAR FEET
SF	SQUARE FEET
	WATER METER
	RECLAIM WATER SERVICE
	DOUBLE SANITARY SERVICE
	DRAINAGE MES
	FIRE HYDRANT

SITE PLAN

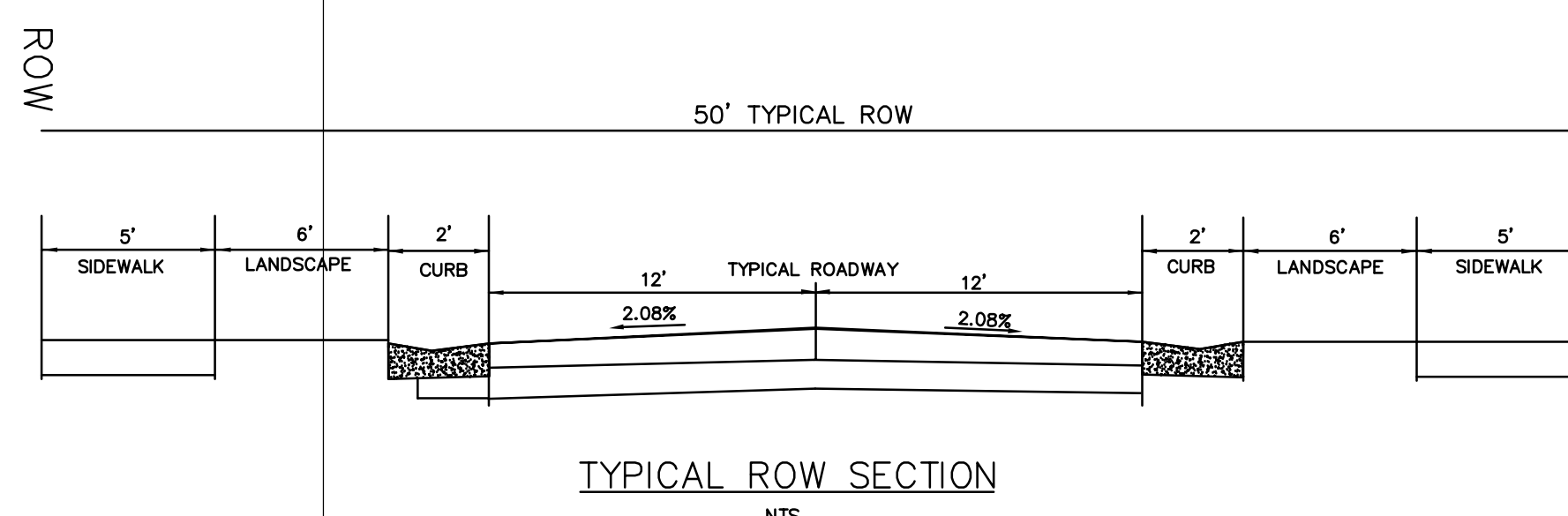
TYPICAL LOT PLAN



TYPICAL CORNER LOT



TYPICAL ROW SECTION



ZONING: R-1A
FLU: LDR

– 10' DRAINAGE, UTILITY & LANDSCAPE ESMT

10' UTILITY ESMT

ZONING: A-1
FLU: LDR

ZONING: A-1
FLU: LDR

ZONING: A-1
FLU: LDR



1614 White Dove Drive
Winter Springs, Florida 32708
Tel: (407) 405-7819

KIM@CYCORPENGINEERS.COM

HOWARD
MEADOWS
PSP

CITY OF OCOEE

[illegible]PGU
PLAN

Date:

APRIL 2023

Scale:

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FIRE NOTES

1. FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291. RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS (NFPA 1, 18.3). A FIRE FLOW TEST RESULTS FROM THE NEAREST EXISTING HYDRANT THAT HAS BEEN WITNESSED BY A UTILITIES INSPECTOR WILL NEED TO BE PROVIDED; DOCUMENTATION FOR FIRE FLOW TESTING SHALL INCLUDE A FIRE FLOW TEST REPORT AND A HYDRAULIC GRAPH.
2. THE MINIMUM FIRE FLOW AND FLOW DURATION REQUIREMENTS FOR ONE AND TWO FAMILY DWELLINGS HAVING A FIRE FLOW AREA THAT DOES NOT EXCEED 5000 SF SHALL BE 1,000 GPM (SECTION 18.4.5, NFPA 1, 2018 EDITION)
3. FIRE HYDRANT LOCATIONS AND DISTRIBUTION SHALL FOLLOW NFPA 1, APPENDIX I.
4. FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER THAT IS PLACED 6" IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.7.
5. FIRE LANES SHALL BE MARKED WITH 12" X 18" FREESTANDING SIGNS WITH A WHITE BACKGROUND AND RED LETTERS. WORDING SHALL READ "NO PARKIN FIRE LANE BY ORDER OF THE FIRE DEPARTMENT". SIGN SHALL BE WITHIN SIGHT OF TRAFFIC FLOW AND BE SPACED NO GREATER THAN 60' APART.
6. FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (NFPA 1, 16.1.4)
7. A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS SUSCEPTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. (NFPA 1, 16.4.3.1)
8. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
9. FIRE DEPT ACCESS RD SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20'
10. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF 39 TONS FOR THE FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE.
11. A 36" CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60" SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVE A DIAMETER GREATER THAN 2.5". (NFPA 1, 18.5.7)
12. ELECTRICALLY OPERATED GATES ARE REQUIRED TO PROVIDE SIREN ACTIVATED OPERATED SENSING DEVICE (SOS SYSTEM) AND DUAL KEY SWITCH KNOW-BOX

USE	UNITS	GPD/UNIT	TOTAL	PHF
WATER	6	350 GPD	2,100 GPD	5.83 GPM

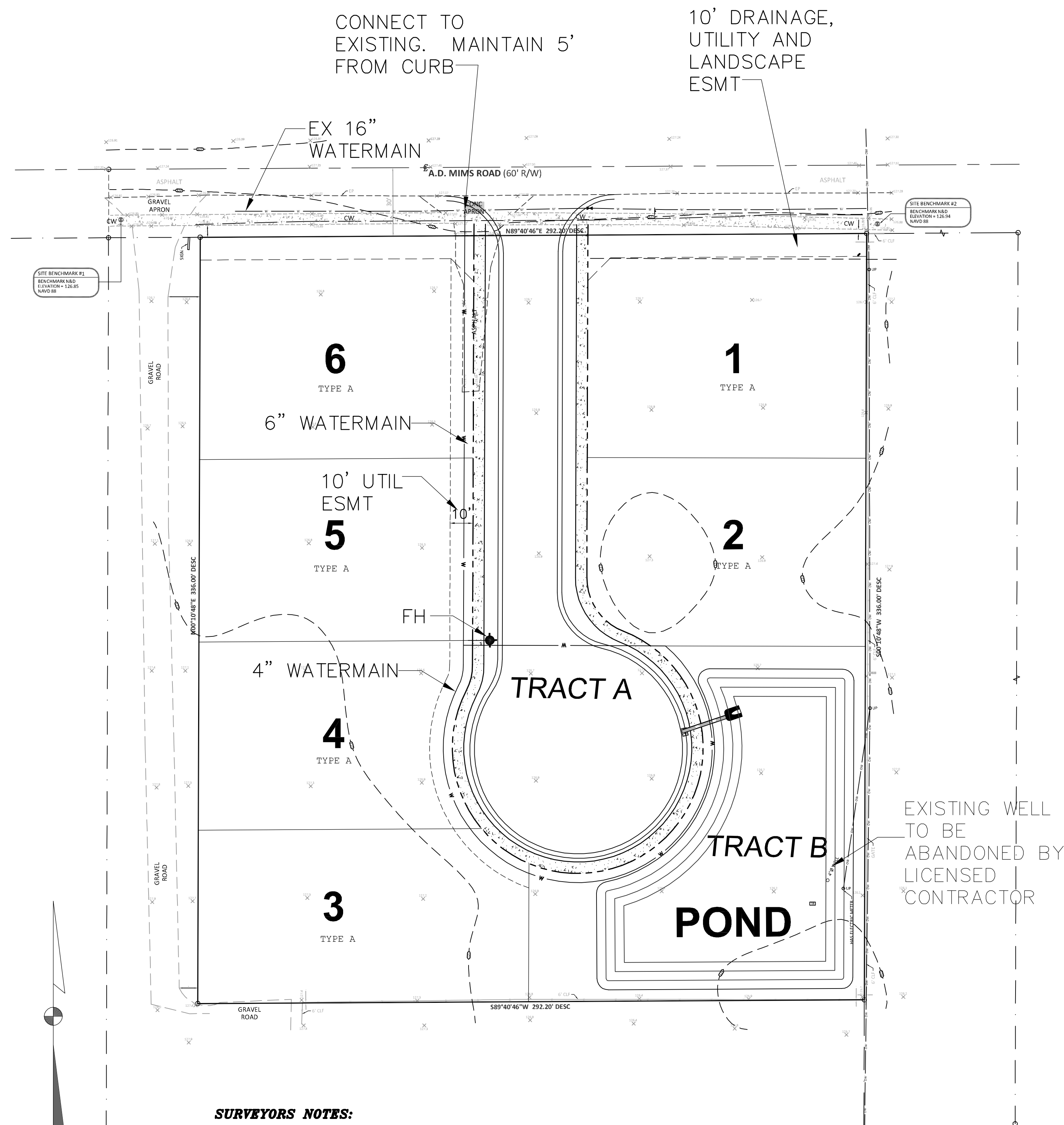
UTILITY DEMANDS FOR RESIDENTIAL
CITY OF OCOEE WILL SUPPLY WATER AND SEWER

UTILITY NOTES

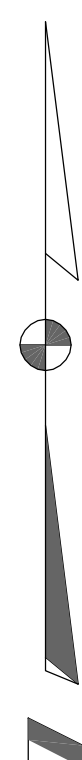
1. ALL IMPROVEMENTS TO BE DEDICATED AND/OR MAINTAINED BY THE CITY SHALL BE IN CONFORMANCE WITH THE CURRENT CITY OF COCOE ENGINEERING STANDARDS MANUAL, MATERIALS LIST, AND DETAILS. FINAL PLAN APPROVAL DOES NOT PROVIDE EXEMPTION FROM THESE REQUIREMENTS.
2. ANY DEVIATION FROM THE CITY OF COCOE ENGINEERING STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING PRIOR TO CONSTRUCTION.
3. THE MOST STRINGENT STANDARDS BETWEEN THE CITY OF COCOE AND FDP STANDARDS SHALL BE FOLLOWED FOR ALL PUBLIC UTILITIES.
4. THE ENGINEER OF RECORD SHALL PROVIDE A LETTER STATING THE CITY OF COCOE ENGINEERING STANDARDS, APPROVED MATERIALS LIST, AND DETAILS HAVE BEEN REVIEWED AND NO DEVIATIONS FROM THE CITY'S STANDARDS ARE REQUESTED.
5. PLEASE COORDINATE WITH TOLMINSON@COCOE.ORG FOR CURRENT UTILITY DETAILS.
6. A CONTRACTOR SHALL REFER TO THE CITY OF COCOE ENGINEERING STANDARDS MANUAL, DEVELOPED MATERIALS LIST, AND DETAILS FOR THE CITY OF COCOE. THE MOST STRINGENT STANDARDS BETWEEN THE CITY OF COCOE STANDARDS AND STANDARDS SET FORTH IN THESE NOTES SHALL BE FOLLOWED.
7. AS BUILTS NEED TO BE SUBMITTED TO THE CITY SIGNED AND SEALED IN ACCORDANCE WITH SECTION 3.01.05 OF THE ENGINEERING STANDARDS MANUAL IN THE FOLLING FORMATS:
 1. ONE PDF COPY
 2. ONE CAD COPY DRAWN IN STATE PLAN COORDINATES
8. NO TREES OR BUSHES SHALL BE PLACED ON TOP OF OR IN CLOSE PROXIMITY TO PUBLIC UTILITIES THAT WILL IMPACT UTILITIES AT MATURITY.

SITE LEGEND

- | | |
|---|----------------------------|
|  | PROPOSED DRAINAGE INLET |
|  | PROPOSED CURB |
|  | SITE BOUNDARY LINE |
|  | EXISTING EDGE OF PAVEMENT |
|  | DRAINAGE PIPE |
|  | PROPOSED EASEMENT |
|  | SANITARY MAIN |
|  | WATER MAIN |
|  | RECLAIM WATER |
|  | SANITARY MANHOLE |
|  | PROPOSED CONCRETE PAVEMENT |
| TYP | TYPICAL |
| S/W | SIDEWALK |
| R5' | 5' RADIUS |
| LF | LINEAR FEET |
| SF | SQUARE FEET |
|  | WATER METER |
|  | RECLAIM WATER SERVICE |
|  | DOUBLE SANITARY SERVICE |
|  | DRAINAGE MES |
|  | FIRE HYDRANT |



SURVEYORS NOTES:

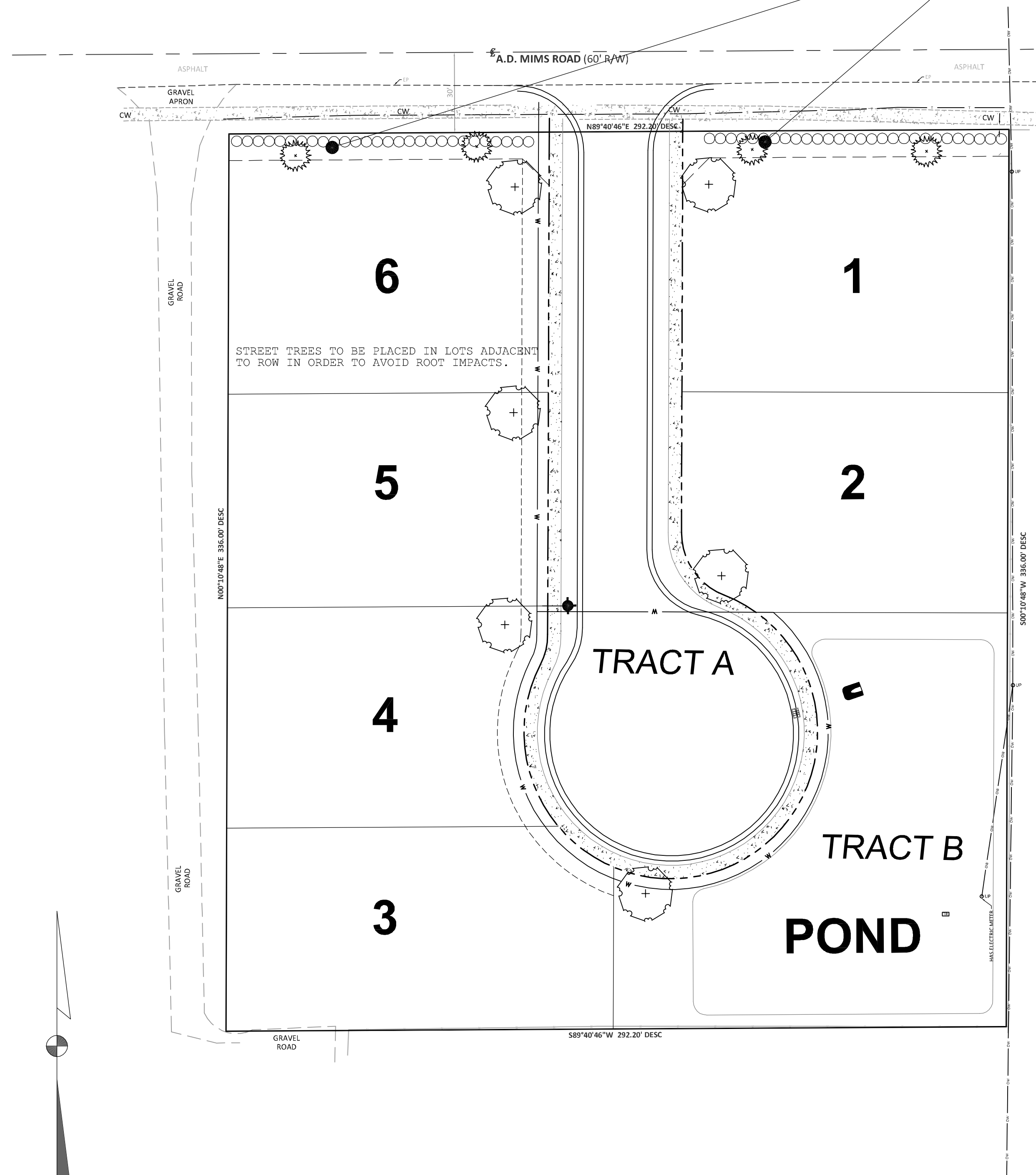


ONE (1) LOT TREE WILL BE REQUIRED IN THE REAR OF EACH YARD. TREE SELECTION TO BE MADE BY HOMEOWNER AND REQUIRED AT TIME OF BUILDING PERMITTING

TREES SHALL BE BASED ON DBH MEASURED AT 54" ABOVE SURFACE
ALL TREES TO BE FLORIDA GRADE #1 OR BETTER

PLANT LIST		COMMON NAME		SIZE, HEIGHT, WIDTH	REMARKS
KEY	TOTAL	BOTANICAL NAME			
SYMBOL	TREE				
LI	4	LAGERSTROEMIA INDICA	CREPE MYRTLE	3" CAL. 10' HL	MULTI TRUNK
QV	6	QUERCUS VIRGINIANA "HIGH RISE"	LIVE OAK "HIGH RISE"	8" HT 2" CAL MIN 3" CAL AVG	SINGLE STRAIGHT TRUNK
MYFR	40	MYRSINANTHES FRAGRANS	SIMPSON'S STOPPER	30" O.C. 30" HT X 24" SPREAD	7 GAL
GROUND COVER					
SOD	AS REQ	BAHIA HYBRID			QTY BY CONTRACTOR

NO TREES OR BUSHES SHALL BE PLACED ON TOP OF OR IN CLOSE PROXIMITY TO PUBLIC UTILITIES THAT WILL IMPACT UTILITIES AT MATURITY.
TREE ROOT GUARD/BARRIER TO BE INSALLED FOR TREES LOCATED WITHIN 10' OF PULBIC SIDEWALKS AND UTILITIES



Legend for Figure 1:

- PROPOSED DRAINAGE INLET
- PROPOSED CURB
- SITE BOUNDARY LINE
- EXISTING EDGE OF PAVEMENT
- DRAINAGE PIPE
- PROPOSED EASEMENT
- SANITARY MAIN
- WATER MAIN
- RECLAIM WATER

SANITARY MANHOLE	
	PROPOSED CONCRETE PAVEMENT
TYP	TYPICAL
S/W	SIDEWALK
R5'	5' RADIUS
LF	LINEAR FEET
SF	SQUARE FEET
	WATER METER
	RECLAIM WATER SERVICE
	DOUBLE SANITARY SERVICE
	DRAINAGE MES
	FIRE HYDRANT



1614 White Dove Drive
Winter Springs, Florida 32708
Tel: (407) 405-7819

KIM@CYCORPENGINEERS.COM

HOWARD
MEADOWS
PSP

CITY OF OCOEE

[illegible]

LANDSCAPING PLAN

Date: APRIL 2023

Scale:
30 SCALE

THIS ITEM HAS BEEN
ELECTRONICALLY SIGNED AND SEALED
BY KIM FISCHER, PE ON THE DATE
AND/OR TIME STAMP SHOWN USING
A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST
BE VERIFIED ON ANY ELECTRONIC
COPIES.

6/5/2023
K. FISCHER, P.E. # 56942
NOT VALID UNLESS SIGNED & EM
BY A REGISTERED ENGINEER

Sheet Number:



COMPREHENSIVE PLANNING 101

POWERPOINT PRESENTATION ONLY
NO STAFF REPORT



August 2023 Development Services New Development Update

The following information is respectfully submitted to the Honorable Mayor and City Commission in order to provide general information about public and private development in the City of Ocoee. Please feel free to contact City Planner Rumer at ext. 1018 for additional information or questions.

District 1– Scott R. Kennedy		
Project Name & General Location	Project Description	Status
7-ELEVEN 2308 Ocoee Apopka Road Parcel # 06-22-28-9243-04-000 2.12 acres Commission District 1 – Scott R. Kennedy	Small Scale Site Plan for a 4,650 SF Convenience Store and Fuel Station	2nd Review Comments sent on April 24, 2023 - Awaiting resubmittal for 3rd Review
COMMERCE 429 FKA BELTWAY 429 FKA PROGRESS COMMERCE PARK 1290 Ocoee Apopka Road Parcel # 07-22-28-0000-026 24.95 acres Pine St Parcel # 07-22-28-0000-00-096 13.01 acres Commission District 1 – Scott R. Kennedy	Large Scale Final Site Plan for up to 480,500 SF of Light Industrial/Warehouse uses located within six (6) buildings.	Under Construction 
MAGNOLIA RESERVE TOWNHOMES 2199 West Road Parcel # 05-22-28-0000-00-029 5.08 acres Commission District 1 – Scott R. Kennedy	Large Scale Final Subdivision Plan is proposing a 48-unit two-story Townhome with a minimum living area of 1,500 SF	2nd Review comments sent April 19, 2023 Awaiting submittal for 3 rd review
MIXED-USE @ FULLERS CROSS RD & OCOEE APOPKA RD Fullers Cross Road Parcel # 06-22-28-0000-00-056 17.96 acres Commission District 1 – Scott R. Kennedy	Large Scale Preliminary Site Plan for mixed-use consisting of Apartments and Commercial	Planning & Zoning Meeting: July 12, 2022 City Commission Meeting: <u>TBD</u> 1st Review comments sent May 11, 2022
OCOEE CROWN POINT MIXED USE DEVELOPMENT 2012 Ocoee Apopka Road Parcel # 06-22-28-0000-00-005 Parcel # 06-22-22-0000-00-082 16.19 acres Commission District 1 – Scott R. Kennedy	Large Scale Preliminary Site Plan for mixed-use consisting of Multifamily and Retail	2nd Review comments sent April 20, 2023 - Awaiting 3rd submittal

OCOEE VILLAGE CENTER ALLURE Clarcona Ocoee Road Parcel # 05-22-28-0000-00-040 15.63 acres Commission District 1 Scott R. Kennedy	Large Scale Preliminary/Final Subdivision Plan for 320 Unit Apartments, four (4) – 101,000 SF, four-story Residential Buildings and one (1) – 10,000 SF, single-story Pool/Clubhouse	Under Construction 
OCOEE VILLAGE CENTER SOUTHEAST COMMERCIAL 10711 N Lakewood Ave Parcel # 05-22-28-0000-00-004 4.7 acres Commission District 1 Scott R. Kennedy	Preliminary/Final Subdivision Plan for a 4,650 SF Gas Station/Convenience Store, a 14,000 SF Retail/Restaurant Building, and a 4000 SF Quick Service Restaurant	Under Construction 
OCOEE VILLAGE CENTER TOWNHOMES 10711 N Lakewood Ave Parcel # 05-22-28-0000-00-004 34.48 acres Commission District 1 – Scott R. Kennedy	Large Scale Preliminary/Final Subdivision Plan for 232 – 2 story Townhome units	Under Construction 
OCOEE VILLAGE CENTER TOWNHOMES 10711 N Lakewood Ave Parcel # 05-22-28-0000-00-004 34.48 acres Commission District 1 – Scott R. Kennedy	Plat for 232 – 2 story Townhome units	Plat Recorded December 14, 2022
District 2 – Rosemary Wilsen		
Project Name & General Location	Project Description	Status
626 SOUTH BLUFORD AVE. WAREHOUSE AND OFFICE 606 South Bluford Ave. Parcel # 17-22-28-6144-04-402 1.1 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan, 10,000 SF Building	Under Construction 
CITY CENTER WEST ORANGE, PARCEL 1, PHASE IV, LOT 4A 251 Main Street Parcel # 20-22-28-0000-00-015 11.92 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan, two-story 20,000 SF office/retail building	• 2nd Review Comments sent on June 18th, 2019 • Awaiting resubmittal for 3rd Review
DARREN CENTER 9961 W Colonial Drive Parcel # 21-22-28-0000-00-012 7.06 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan 18,302 SF Medical & Professional Office	Under Construction 
HEARTLAND DENTAL 1100 Blackwood Avenue Parcel # 20-22-28-0742-02-000 1.96 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for a 5,984 SF Dental Office Building	Under Construction 

HUDSON FURNITURE 10401 W. Colonial Dr. Parcel # 20-22-28-4238-00-030 Commission District 2 – Rosemary Wilsen	Small Scale Site Plan to add an additional 13,866 SF to the existing 15,615 SF Building	Approved for Construction
OCOE OAKS JOINT VENTURE 201 S. Clark Rd. Parcel # 21-22-28-0000-00-027 12.59 acres Commission District 2 – Rosemary Wilsen	Preliminary Subdivision Plan	Under first review
OCOE OAKS UMC 201 S. Clark Rd. Parcel # 21-22-28-0000-00-027 12.59 acres Commission District 2 – Rosemary Wilsen	Special Exception was requested to allow a monopine style communication tower on a parcel zoned A-1	Approved at the City Commission Meeting: January 17, 2023
OCOE OAKS UMC 201 S. Clark Rd. Parcel # 21-22-28-0000-00-027 12.59 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for a 135-foot communication tower	Approved for Construction
OCOE TOWN SHOPS 9729 W. Colonial Dr. Parcel # 21-22-28-0000-00-070 3.39 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan	Under 1st Review
O'REILLY'S OCOE 1891 E. Silver Star Road Parcel # 16-2-28-8049-00-003 5.06 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for a 7,453 SF O'Reillys Auto Parts store	- Approved for construction - Pending Pre-Construction Meeting
O'REILLY'S OCOE 1891 E. Silver Star Road Parcel # 16-2-28-8049-00-003 5.06 acres Commission District 2 – Rosemary Wilsen	Plat	City Commission Meeting (Consent Item): TBD 4th review comment sent on September 20th - Awaiting resubmittal
SIRI OFFICE BUILDING 3872 Old Winter Garden Road Parcel # 28-22-28-0000-00-019 1.25 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for 28,000 SF Office Building	Approved for Construction
WENDYLYN'S BEAUTY SALON, FKA 54 REWIS STREET 54 Rewis Street Parcel # 18-22-28-7900-05-051 0.25 acres Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for a 1275 SF Building, Mixed-use of Beauty Salon, and Residence	APPROVED for construction - Pending Pre-Construction Meeting

WEST OAKS SELF-STORAGE AND OFFICE / SHOPPES AT WEST OAKS PD 9000 W. Colonial Drive Parcel # 27-22-28-8005-00-040 4.1 acres Commission District 2 – Rosemary Wilsen	Rezoning from Community Commercial to Planned Development	Under Construction 
WEST ORANGE MEDICAL 3442 Old Winter Garden Road 3462 Old Winter Garden Road Parcel # 29-22-28-0000-00-028 Parcel # 29-22-28-0000-00-036 1.21 acres combined Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for an 11,800 SF Medical Office	1st review comments sent April 12, 2023 - Under 2nd review
WEST ORANGE SURGERY CENTER 3422 Old Winter Garden Road Parcel # 29-22-28-0000-00-030 1.26 acres combined Commission District 2 – Rosemary Wilsen	Small Scale Site Plan for an 11,500 SF Surgery Center	- Approved for construction - Pending Pre-Construction Meeting
District 3 – Richard Firstner		
Project Name & General Location	Project Description	Status
409 OCOEE APOPKA ROAD PUD 409 Ocoee Apopka Road Parcel # 18-22-28-0000-00-056 4.76 acres Commission District 3 – Richard Firstner	Large Scale Preliminary/ Final Site Plan for two Industrial Warehouse Buildings totaling 61,797 SF	Approved for Construction
429 BUSINESS CENTER PHASE II EAST 450 Ocoee Apopka Road Parcel # 18-22-28-0000-00-006 11.21 acres combined Commission District 3 – Richard Firstner	Large Scale Final Site Plan for three (3) one story buildings totaling 126,402 SF	2nd Review comments sent on 05/31/2023 - Pending resubmittal for 3rd review - City commission meeting: TBD
429 BUSINESS CENTER PHASE II WEST 701 Pine Street 707 Pine Street 711 Pine Street Parcel # 18-22-28-0000-00-005 Parcel # 18-22-28-0000-00-106 Parcel # 18-22-28-0000-00-105 5.90 acres combined Commission District 3 – Richard Firstner	Large Scale Final Site Plan for a one-story building consisting of 70,720 SF	2nd Review comments sent on 05/31/2023 - Pending resubmittal for 3rd review - City commission meeting: TBD
606 SPORTS TRAINING 606 Ocoee Apopka Road Parcel # 18-22-28-0000-00-001 5.19 acres Commission District 3 – Richard Firstner	Large Scale Preliminary Site Plan for a one-story 52,800 SF sports training facility	- Under 1st Review - Planning & Zoning Meeting: TBD - City Commission Meeting: TBD
ANDY'S OCOEE Maguire Rd. Parcel # 30-22-28-0000-00-020 2.09 acres Commission District 3 – Richard Firstner	Small Scale Site Plan to construct 1,919 SF building for a Drive-Through Frozen Custard Shop	Under Construction 

CHRISTIAN BROTHERS AUTOMOTIVE West Colonial Dr. Parcel # 20-22-28-9138-03-000 .62 acres Commission District 3 – Richard Firstner	Small Scale Site Plan for a 5000 SF Automotive Service Building	Under Construction 
DOUBLE O'S OCOEE Maguire Rd. Parcel # 30-22-28-0000-00-020 2.09 acres Commission District 3 – Richard Firstner	Small Scale Site Plan to construct 670 SF building for a Drive-Through Coffee Shop	Under Construction 
FIRST CHOICE DOOR AND MILLWORK 393 Enterprise Street Parcel# 19-22-28-9153-02-601 1.26 acres Commission District 3 – Richard Firstner	Small Scale Site Plan for a 4,000 SF detached storage building and associated parking and utility improvements	Under Construction 
HAMPTON INN BY HILTON AKA COMFORT INN – MAINSTAY SUITES 11405 W. Colonial Dr. Parcel # 19-22-28-0000-00-007 945 Marshall farms Rd. Parcel# 19-22-28-0000-00-008 Commission District 3 – Richard Firstner	Preliminary/Final Large-Scale Site Plan for a six-story 74,657 SF hotel with 120 rooms	• Approved for Construction on April 4, 2022 Pre-Construction meeting: April 4, 2022
ALIBI AKA LAKE LILLY 2802 Old Winter Garden Road Parcel # 29-22-28-0000-00-007 16.61 acres Commission District 3 – Richard Firstner	Large Scale Final Site Plan for 410 Luxury Multifamily Rental Units	Under Construction 
O2B KIDS 880 Bluford Avenue Parcel # 20-22-28-0000-00-059 Parcel# 20-22-28-0000-00-055 2.48 acres combined Commission District 3 – Richard Firstner	Small Scale Site Plan for a 10,970 SF Day Care Facility and a 6,000 SF Medical Office Building	• Approved for construction • Pending Pre-Construction Meeting
OCOEE-TOMYN SELF STORAGE FACILITY AKA BARKERITAVILLE PUD AKA PET PARADISE Parcel # 31-22-28-0000-00-050 8.13 acres Commission District 3 – Richard Firstner	Preliminary/Final Large-Scale Site Plan	• Site Plan APPROVED on March 25, 2022
OCOEE VILLAGE Franklin Street Parcel # 18-22-28-0000-00-025 5.77 acres Commission District 3 – Richard Firstner	Large Scale Final Site Plan, for two (2) two-story buildings with 72,712 sf for office/retail.	• Planning & Zoning Meeting: September 14, 2021 • City Commission meeting: October 5, 2021 • 1st Review comments sent on August 31, 2021 • awaiting resubmittal for 2nd review

OCOEE VILLAGE GREEN Maguire Rd. Parcel # 30-22-28-0000-00-020 2.09 acres Commission District 3 – Richard Firstner	Small Scale Site Plan to construct hardscape common areas	2nd Review comments sent on 08/26/2022 Pending resubmittal for 3 rd review.
PRUITT HEALTH 870 Tomynd Blvd Parcel# 30-22-28-2861-01-000 10.73 acres Commission District 3 – Richard Firstner	Substantial Amendment to the PUD for a Nursing Facility	Approved at the August 17, 2023 City Commission Meeting
THE REGENCY 1601 Maguire Road # 28-22-30-0000-00-059 Parcel # 28-22-30-0000-00-016 Parcel # 28-22-30-0000-00-018 16.68 acres Commission District 3 – Richard Firstner	Large Scale Final Site Plan for 300 Multifamily units and 7000 SF of Retail	Pending resubmittal of 5th review
District 4 - Ages Hart		
Project Name & General Location	Project Description	Status
COVINGTON OAKS 8667 A. D. Mims Road Parcel # 10-22-28-0000-00-004 9.94 acres Commission District 4 - Ages Hart	Preliminary Subdivision Plan for 17 Single-Family Residential Lots	Planning & Zoning Meeting: April 11, 2022 City Commission meeting: August 15, 2023 2nd review comments sent on June 14th, Pending resubmittal of 3rd review
EVEREST REHABILITATION HOSPITAL AKA OCOEE LANDINGS COMMERCIAL 1842 E. Silver Star Road Parcel # 16-22-28-4532-00-040 5.12 acres Commission District 4 - Ages Hart	Large Scale Site Plan for a 39,817 SF, single-story, Rehabilitation Hospital	Under Construction 
GARDENIA POINTE Clarke Road/ A. D. Mims Road Parcel # 10-22-28-0000-00-003 # 10-22-28-0000-00-011 # 10-22-28-0000-00-128 # 03-22-28-2834-01-201 37.37 acres Commission District 4 - Ages Hart	Rezoning from A-1 (General Agriculture) to PUD (Planned Unit Development)	Planning & Zoning Meeting: TBD City Commission meeting 1st Reading: TBD City Commission 2nd Reading: TBD 1st Review comments sent April 11, 2023 - Awaiting 2nd submittal
HOWARD MEADOWS 8708 A. D. Mims Road Parcel # 10-22-28-0000-00-133 2.25 acres Commission District 4 - Ages Hart	Preliminary Subdivision Plan for Six (6) Single-Family Residential Lots	Planning & Zoning Meeting: TBD City Commission meeting: TBD - Under 1st Review
LAKE MEADOW LANDING (F.K.A ARDEN LANDING; CIARA PLACE / F.K.A. VILLA ROMA) 2121 North Clarke Road Parcel # 04-22-28-0000-00-048 21.05 acres Commission District 4 - Ages Hart	Large Scale Preliminary/Final Subdivision Plan, 88-unit 1,391 SF (per unit) residential townhomes with a 2,400-SF clubhouse	Under Construction 

OCOEE LANDINGS PUD <i>E. Silver Star Road</i> <i>Parcel # 16-22-28-4532-00-140</i> <i>1.77 acres</i> <i>Commission District 4 - Ages Hart</i>	Large Scale Site Plan consisting of commercial/retail and 46 apartments combined as an approved use for the PUD	Approved at City Commission meeting on November 1, 2022
PRAIRIE LAKE SUBDIVISION <i>Ocoee Vista Parkway/AD Mims Road</i> <i>Parcel # 09-22-28-0000-00-056</i> <i>11.99 acres</i> <i>Commission District 4 - Ages Hart</i>	Preliminary Final Subdivision Plan to construct 78 lots, each containing a two-story townhome	Under Construction 
RESERVE AT LAKE MEADOWS <i>2149 Lauren Beth Avenue</i> <i>Parcel # 04-22-28-0000-00-024</i> <i>18.58 acres</i> <i>Commission District 4 - Ages Hart</i>	A Large-Scale Final Subdivision plan for 46 single-family homes	APPROVED for Construction - Pre-Construction meeting scheduled for April 4, 2023
WYNWOOD PHASE 1 & 2 FKA CLRM <i>44 W. McCormick Road</i> <i>Parcel # 33-21-28-0000-00-007</i> <i>100 E McCormick Road</i> <i>Parcel # 34-21-28-0000-00-022</i> <i>3201 Trout Lake Road</i> <i>Parcel # 33-21-28-0000-00-020</i> <i>212.30 acres</i> <i>Commission District 4- Ages Hart</i>	Large Scale Preliminary/Final Subdivision to construct 190 single-family residential lots in Phases 1 & 2 with stormwater ponds, open space, and a park/recreation area and 187 lots for Mass Grading in Phases 3 & 4	Under Construction 
WYNWOOD PHASE 3 & 4 FKA CLRM <i>Greenwood Oak Drive</i> <i>Parcel # 34-21-28-9490-06-001</i> <i>Coachwood Drive</i> <i>Parcel # 34-21-28-9490-06-002</i> <i>56.63 acres</i> <i>Commission District 4- Ages Hart</i>	Large Scale Preliminary/Final Subdivision Plan to construct 187 single family residential lots	Under 1 st review City Commission Meeting (Consent): TBD